

**Appendix B**  
*Specific Plan*





# San Juan Oaks

Specific Plan



Prepared for  
**Pulte Home Corporation**  
**San Juan Oaks, LLC**

**Kimley»Horn**



# SAN JUAN OAKS SPECIFIC PLAN

PUBLIC REVIEW DRAFT  
JUNE 2015





# SAN JUAN OAKS SPECIFIC PLAN

## VISION

The San Juan Oaks Specific Plan area is a residential community that focuses on active adults by offering a rich variety of activities, lifelong learning and strong neighborhood networks. It is complemented by visitor-serving resort and recreation facilities and neighborhood-serving commercial services that will provide significant economic benefits to San Benito County. It is committed to ensuring an integrated and sustainable approach to the long-term protection and management of the site's unique environmental resources.

## ACKNOWLEDGEMENTS

### Pulte Group Inc.

John Johnson  
Tim Fisher  
Jeanne Miller  
Andrew Wong

### San Juan Oaks, LLC

Scott Fuller, General Manager

### County of San Benito

Byron Turner, Planning Director  
Joe Horwedel, Public Works Director

### Consultants

Kimley-Horn & Associates

Whitson Engineers  
Zander Associates  
Todd Engineers  
ENGEO Inc.  
Balance Hydrologics  
Brownstein Hyatt Farber Schreck LLP  
Arbor Resources  
Gruen Gruen + Associates

*Cover and Vision page images courtesy of Steve Loos Photography, Pulte Group and Kimley-Horn & Associates*

# Table of Contents

## 1 Introduction ..... 1

- 1.1. Specific Plan Organization ..... 1-3
- 1.2. Project Background ..... 1-6
- 1.3. Planning Process and Entitlements ..... 1-7
- 1.4. Specific Plan Setting ..... 1-7
- 1.5. Relationship to Existing County Plans and Policies ..... 1-10
- 1.6. Statutory Requirements of a Specific Plan ..... 1-11
- 1.7. Authority to Prepare ..... 1-11
- 1.8. Environmental Review ..... 1-11

## 2 Land Use and Development Standards . 2-1

- 2.1. Land Use Concept ..... 2-3
- 2.2. Project Objectives ..... 2-4
- 2.3. Land Use Summary ..... 2-5
- 2.4. Land Use Categories ..... 2-10
- 2.5. Phasing Plan ..... 2-16
- 2.6. Infrastructure and Services ..... 2-18
- 2.7. Development Standards ..... 2-20
- 2.8. Permitted Uses ..... 2-26

## 3 Design Guidelines ..... 3-1

- 3.1. General Design Guidelines ..... 3-3
- 3.2. Residential Design Guidelines ..... 3-17
- 3.3. Residential Architectural Styles ..... 3-22

- 3.4. Neighborhood Commercial Design Guidelines ..... 3-36
- 3.5. Amenity Center and Resort Hotel ..... 3-39
- 3.6. Mobility and Parking ..... 3-44
- 3.7. Signage ..... 3-48

## 4 Circulation and Streetscape Design ..... 4-1

- 4.1. Circulation and Streetscape Design Goals ..... 4-3
- 4.2. Pedestrian Network ..... 4-3
- 4.3. Bicycle Network ..... 4-3
- 4.4. Local Use Vehicle Network ..... 4-6
- 4.5. Transit Network ..... 4-6
- 4.6. Street Network and Hierarchy ..... 4-8
- 4.7. Streetscape Design ..... 4-30

## 5 Infrastructure and Public Services ..... 5-1

- 5.1. Water Supply ..... 5-3
- 5.1. Wastewater ..... 5-9
- 5.2. Stormwater and Water Quality ..... 5-12
- 5.3. Dry Utilities ..... 5-17
- 5.4. Public Services ..... 5-17

## 6 Parks, Open Space & Landscaping ..... 6-1

- 6.1. Recreation and Open Space Goals ..... 6-3
- 6.2. Proposed Parks ..... 6-4
- 6.3. Amenity Center ..... 6-8
- 6.4. Golf Course and Clubhouse ..... 6-10
- 6.5. Open Space Common Area ..... 6-11

6.6. Landscaping .....6-13

**7 Resource Management .....7-1**

7.1. Introduction .....7-3

7.2. Existing Environmental Conditions and Resource Agency Permit Status .....7-3

7.3. Resource Management Policies and Mitigation Programs ..7-11

**8 Administration, Implementation, and Financing .....8-1**

8.1. Administration and Entitlements .....8-3

8.2. Phasing and Financing .....8-7

8.3. Fiscal Impact of the Specific Plan .....8-9

**List of Figures**

Figure 1-1: Specific Plan Location ..... 1-5

Figure 1-2: Specific Plan Aerial ..... 1-9

Figure 2-1a: Conceptual Land Use Plan ..... 2-6

Figure 2-1b: Conceptual Land Use Plan (Development Areas) ..... 2-7

Figure 2-2: Off-site Transfer of Development Credit Parcel ..... 2-9

Figure 2-3: Caltrans Proposed Highway 156 Improvement Project .. 2-15

Figure 2-4: Project Phasing Plan ..... 2-17

Figure 4-1: Pedestrian Circulation Network ..... 4-4

Figure 4-2: Bicycle Circulation Network ..... 4-5

Figure 4-3: Local Use Vehicle Circulation Network ..... 4-7

Figure 4-4: Proposed Street Network ..... 4-9

Figure 4-5a: San Juan Oaks Drive Type 1 ..... 4-10

Figure 4-5b: San Juan Oaks Drive Type 2 ..... 4-11

Figure 4-6a: Divided Collector Road ..... 4-13

Figure 4-6b: Collector Road ..... 4-14

Figure 4-7a: Neighborhood Entry Street – Type 1 ..... 4-16

Figure 4-7b: Neighborhood Entry Street – Type 2 ..... 4-17

Figure 4-8a: Neighborhood Street Type 1 ..... 4-18

Figure 4-8a: Neighborhood Street Type 2 ..... 4-19

Figure 4-9a: Commercial Street Type 1 ..... 4-21

Figure 4-9b: Commercial Street Type 1 at Bridge ..... 4-22

Figure 4-9c: Commercial Street Type 2 ..... 4-23

Figure 4-9d: Commercial Street Type 3 ..... 4-24

Figure 4-10: Emergency Vehicle Access ..... 4-25

Figure 4-11a: San Juan Oaks Drive and Del Webb Boulevard North Intersection ..... 4-27

Figure 4-11b: San Juan Oaks Drive and Del Webb Boulevard South Intersection ..... 4-28

Figure 4-11c: San Juan Oaks Drive and Gavilan Road Intersection 4-29

Figure 5-1: Proposed Potable Water System ..... 5-6

Figure 5-2a: Proposed Recycled Water System ..... 5-7

Figure 5-2a: Proposed Recycled Water System ..... 5-7

Figure 5-2b: Potential Future Recycled Water System (Extension along San Juan Hollister Road) ..... 5-8

Figure 5-3a: Proposed Sanitary Sewer System ..... 5-10

Figure 5-3b: Proposed Sanitary Sewer System (Extension along San Juan Hollister Road) ..... 5-11

Figure 5-4: Existing Drainage Patterns ..... 5-14

Figure 5-5: Proposed Stormwater Drainage and Detention System ... 5-16

Figure 6-1a: Community Park Site Plans – Olive Hill Park ..... 6-5

Figure 6-1b: Community Park Site Plans – Community Garden & Dog  
Park ..... 6-6

Figure 6-1a: Landscape Zones ..... 6-21

Figure 6-1b: Landscape Zones ..... 6-22

Figures 6-2a: Entry Sign (Union Road at San Juan Oaks Drive) ..... 6-27

Figure 6-2b: Entry Sign (Highway 156) ..... 6-28

Figure 7-2: Development Footprint Overlay ..... 7-10

**List of Tables**

Table 2-1: Land Use Summary ..... 2-8

Table 2-2: Phasing Plan ..... 2-16

Table 2-3: Single Family Residential (SJO-SFR) Development Standards  
..... 2-21

Table 2-4: Amenity Center (SJO-AC) Development Standards ..... 2-22

Table 2-5: Resort Hotel (SJO-RH) Development Standards ..... 2-23

Table 2-6: Neighborhood Commercial (SJO-C-2) Development  
Standards ..... 2-25

Table 2-7: Permitted Uses ..... 2-28

Table 3-1: Cottage Style Criteria ..... 3-24

Table 3-2: Monterey Style Criteria ..... 3-26

Table 3-3: Spanish Eclectic Style Criteria ..... 3-28

Table 3-4: California Ranch Style Criteria ..... 3-30

Table 3-5: Craftsman Style Criteria ..... 3-32

Table 3-6: Tuscan Style Criteria ..... 3-34

Table 5-1: Potential Service Providers ..... 5-3

Table 5-2: Modeled Stormwater Peak Flow Rates ..... 5-15

Table 6-1: Landscape Zones ..... 6-23

Table 6-2: Tree Palette ..... 6-43

Table 6-3: Shrub Palette ..... 6-46

Table 6-4: Groundcover Palette ..... 6-50

Table 8-1: Annual General Fund Revenue at Buildout ..... 8-10

Table 8-2: Estimate Annual General Fund Costs upon Buildout ..... 8-10

Table 8-3: Estimate Annual General Fund Surplus at Buildout ..... 8-11

Table 8-4: Estimate Annual General Fund Impact Attributable to  
Residential Uses at Buildout ..... 8-11

Table 8-5: Total Economic Impact of Development on the County  
Economy ..... 8-11



# 1

## INTRODUCTION

This chapter explains the purpose of the Specific Plan; background; planning process and entitlements; guiding principles; organization of the Specific Plan; authority to prepare; relationship to existing plans and policies; local and regional context and setting.



The San Juan Oaks Specific Plan (the Specific Plan or the project) is a plan for the orderly development of approximately 1,994 acres in San Benito County (the County or SBC). As shown in [Figure 1-1: Specific Plan Location](#), the project site is located approximately three miles south of the City of Hollister and south of the intersection of Highway 156 and Union Road. The project is comprised of two primary components.

The first component will be developed by Del Webb, a subsidiary of Pulte Group, and consists of an “active-adult community” (i.e. age-restricted to 55 years and older) including 1,017 single-family residences on 176 acres. This component also includes an amenity center to serve project-residents and their guests, which would be located on approximately 10 acres. The amenity center would consist of an approximately 17,500 to 25,000 square foot main building, and is anticipated to include a multi-purpose room for community events, a fitness center, a craft room, locker rooms, administrative spaces, and a covered swimming pool. The amenity center would also likely include a variety of outdoor uses which could include a swimming pool, tennis courts, pickle ball and bocce courts, and barbeque areas.

The second component will be developed by San Juan Oaks, LLC and would consist of 67 non-age restricted single-family residential units, a 200-room resort hotel (on approximately 35 acres), up to 65,000 square foot neighborhood commercial and office center (on approximately 14 acres), and would also include an approximately 4-acre assisted living/skilled nursing/memory care facility with up to 100 beds. The neighborhood commercial center would consist of small scale retail, medical, and professional services. These services may include, among others, a bank, medical offices and out-patient services, a restaurant, a small market, a coffee shop, a bakery, insurance offices, financial brokerage offices, a local use vehicle sales/service center, storage, including RV storage, or other similar services.

Throughout the project site, the project proposes to provide a substantial amount of open space areas and park facilities. This includes four private neighborhood parks totaling 6.6 acres in the active-adult community for use of project residents, two community parks totaling 16.8 acres, and approximately 114 acres of common area open space, including landscaped areas and informal trails. The project would also

establish approximately 41 acres of on-site agricultural preserve and set aside approximately 1,243 acres for permanent wildlife habitat preservation. A majority of this habitat preservation area is located within the southern-most portions of the project site and would remain perpetually restricted from future development through deed restrictions and/or other appropriate legal instruments. The proposed habitat preservation area currently supports limited cultivated agriculture, grasslands, oak savannah, and mixed oak woodlands and is currently used for grazing and dry land farming. Off-site, the project has established an agricultural easement on 153 acres of prime farmland, located on San Justo Road north of the City of San Juan Bautista (the Silva Property) which will maintain that acreage in agricultural use in perpetuity.

## 1.1. Specific Plan Organization

The Specific Plan is organized with the following chapters and content.

### Chapter 1 – Introduction

This chapter explains the purpose of the Specific Plan; background; planning process and entitlements; guiding principles; organization of the Specific Plan; authority to prepare; relationship to existing plans and policies; local and regional context and setting.

### Chapter 2 – Land Use and Development Standards

This chapter explains the conceptual land use plan for the Specific Plan area; identifies land use policies, and defines the land use designations unique to the Specific Plan. Development standards for each land use designation are also described.

### Chapter 3 – Design Guidelines

This chapter explains design concepts and establishes design policies and design guidelines for development in the Specific Plan area.

#### **Chapter 4 – Circulation and Streetscape Design**

This chapter explains the circulation and streetscape design including the roadway hierarchy and proposed mobility plans for pedestrians and bicycles.

#### **Chapter 5 – Infrastructure and Public Services**

This chapter describes the plan for infrastructure and utility needs (e.g., water, sewer, recycled water, etc.) and public services for the Specific Plan area.

#### **Chapter 6 – Parks, Open Space and Landscaping**

This chapter identifies the goals and design concepts for neighborhood parks, open space, trails and bikeways. It also includes a discussion of the landscaping principles and planting guidelines for all landscape zones through the Specific Plan area.

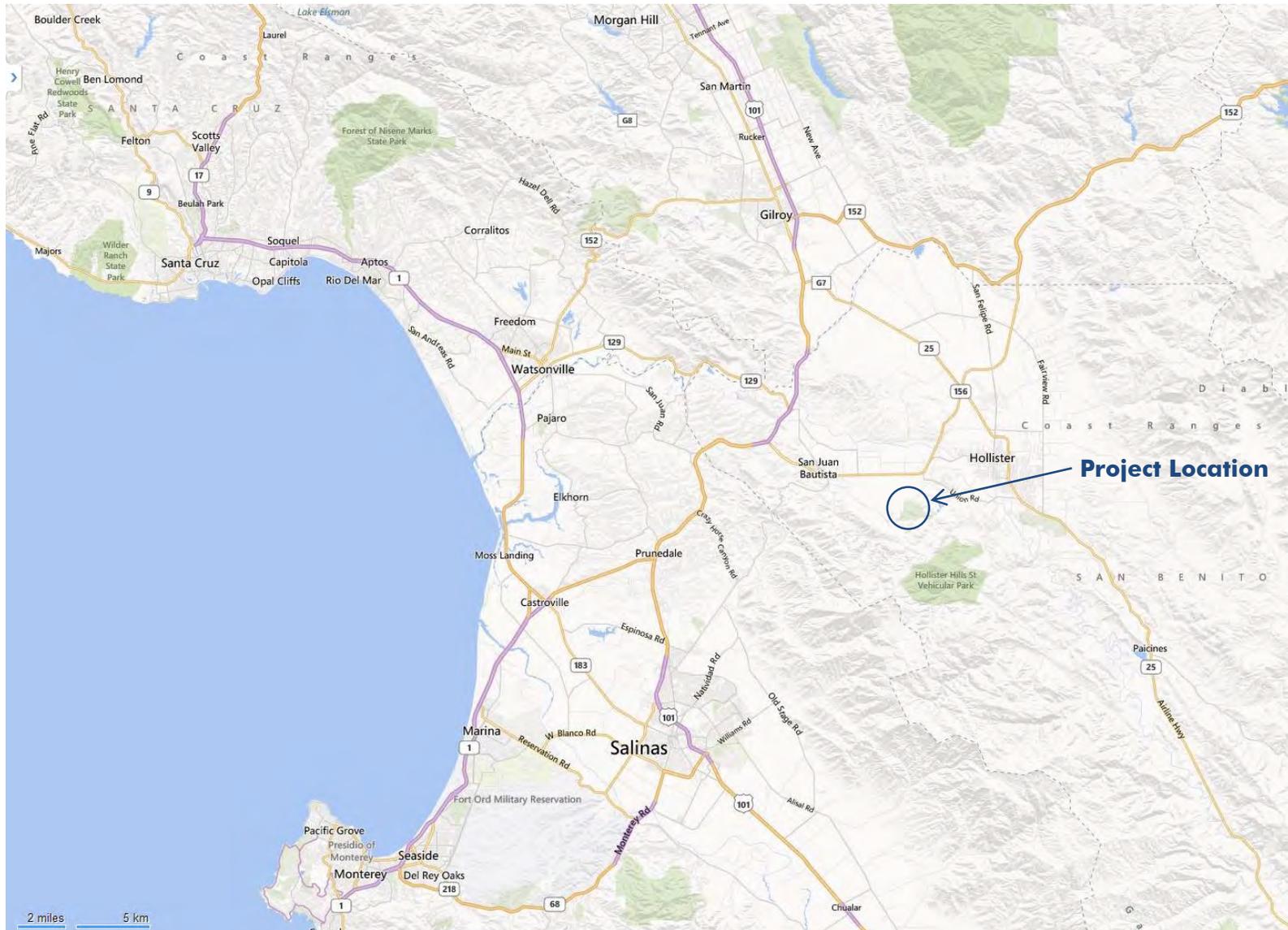
#### **Chapter 7 – Resource Management**

This chapter describes the plan for creation and management of a permanent wildlife habitat, an on-site agricultural preserve, and an off-site agricultural preserve (outside of the Specific Plan area).

#### **Chapter 8 – Administration, Implementation, and Financing**

This chapter discusses the development review procedures by San Benito, and other relevant permitting agencies, applicable to the Specific Plan area. Implementation of the proposed land uses shall be through a tiered process as outlined in this chapter. A process for amendments to the Specific Plan is also discussed. Additionally, financing sources, maintenance responsibilities, and costs are identified for major infrastructure improvements.

Figure 1-1: Specific Plan Location



## 1.2. Project Background

The site is designated as Rural Transitional with a Planned Unit Development Overlay and Commercial Thoroughfare in the existing San Benito County General Plan. These designations allow for agricultural uses, commercial uses, recreational uses, and single family residential uses.

In October, 2002 San Juan Oaks Golf Club submitted an application for a Vesting Tentative Map, file number TSM 02-67. On July 27, 2004 the San Benito County Board of Supervisors approved the Vesting Tentative Map and Environmental Impact report (SCH #2002101031) for the San Juan Oaks Golf Club, and adopted Resolution No. 2004-85 with certain conditions. The Vesting Tentative Map, which is currently valid and is set to expire in July 2017, allows for the development of 156 conventional single family residential units, 30 affordable units, a resort hotel, a village commercial site, a park, open space, an additional 18-hole golf course and an additional 9-hole golf course.

As described herein, the Applicant/project developer (Pulte Home Corporation and San Juan Oaks, LLC) is proposing to amend the current Vesting Tentative Map as part of the Specific Plan process.



Image courtesy of Steve Loos Photography

### 1.3. Planning Process and Entitlements

#### 1.3.1. Planning Process

The Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450 through 65457, which grants local government agencies the authority to prepare specific plans for any area covered by a General Plan. California Government Code Sections 65450 through 65457 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate that Specific Plans be consistent with the General Plan within which they are included.

When subsequent site-specific development proposals for the Specific Plan area are presented to the County, planning staff will use this Specific Plan as a policy and regulatory guide for subsequent project review. Projects will be evaluated for consistency with Specific Plan policies and for conformance with development standards and design guidelines. In situations where policies or standards relating to a particular subject have not been provided in the Specific Plan, the existing policies and standards of the County's General Plan and Zoning Ordinance will continue to apply.

#### 1.3.2. Project Entitlements

The proposed Project will require review and approval from a number of agencies. Provided below is a list of the anticipated discretionary permits requiring approval by the County of San Benito.

- Certification of Subsequent EIR
- General Plan Amendment
- Adoption of the proposed Specific Plan (including site & architectural, landscape and sign approval)
- County Code, Zoning Text and Zoning Map Amendments
- Approval of Development Agreement
- Approval of Water Supply Assessment

- Approval of Amended Vesting Tentative Map(s)
- Approval of Conditional Use Permit(s)
- Approval of Tree Removal Permit\
- Approval of Grading Permit(s)
- Approval of Well Construction Permit(s)

The following includes a list of other government agencies that would or may have some level of approval for one or more components of the proposed Project, as required by *State CEQA Guidelines* Section 15124(d):

- City of Hollister
- San Benito County Water District
- San Benito County Local Agency Formation Commission
- California Department of Transportation
- California Bureau of Real Estate
- California Department of Fish & Wildlife
- California Department of Transportation
- California Department of Water Resources
- California Public Utilities Commission
- Regional Water Quality Control Board
- U.S. Fish & Wildlife Service

See [Chapter 8: Administration, Implementation and Financing](#) for detailed provisions of the project approvals and implementation process.

### 1.4. Specific Plan Setting

#### 1.4.1. Regional Setting

The Specific Plan area is 1,993.6 acres located in San Benito County which encompasses over 890,000 acres. San Benito County is

considered part of the Monterey Bay Area, as it is located in the Coast Range Mountains, south of the City of San Jose, and west of the Central Valley. The Cities of Hollister and San Juan Bautista are the only two incorporated cities in the County. The County is surrounded by Santa Clara County to the north, Santa Cruz and Monterey Counties to the west, and Merced and Fresno Counties to the east and south. [Figure 1-1: Specific Plan Location](#) identifies the location of the Specific Plan area.

### 1.4.2. Local Setting

The Specific Plan area is located approximately 3 miles south of the City of Hollister, and south of the intersection of Highway 156 and Union Road. Part of the Specific Plan area currently consists of an 18-hole public golf course and clubhouse known as San Juan Oaks Golf Club. The Specific Plan area is surrounded by agricultural and rangeland, with an industrial parcel located to the East.

[Figure 1-2: Specific Plan Aerial](#) shows an aerial photograph of the Specific Plan area.

#### Existing and Surrounding Land Uses

Existing uses in the Specific Plan area include an 18-hole golf course, rangeland, clubhouse with dining facilities and pro shop, cultivated dry land farming, and an agricultural parcel.

The Specific Plan area is surrounded by agricultural land to the north, rangeland to the south, rangeland and agricultural land to the west, and rangeland and industrial uses to the east.

[Figure 1-2: Specific Plan Aerial](#) identifies existing and surrounding land uses within the vicinity of the Specific Plan area.

### 1.4.3. Existing Mobility Facilities and Services

#### Roadways

San Juan Oaks Drive is the main roadway to and through the Specific Plan area. All existing uses within the Specific Plan area are accessed from this roadway.

#### Pedestrian and Bicycle Facilities

There are currently no sidewalks along San Juan Oaks Drive or designated bikeways within the Specific Plan area. Pedestrians may use golf cart paths throughout the golf course and clubhouse areas.

#### Bus Transit

There is currently no bus transit to the Specific Plan area.

Figure 1-2: Specific Plan Aerial



## 1.5. Relationship to Existing County Plans and Policies

### 1.5.1. San Benito County General Plan

#### 1985 San Benito County General Plan

The project is subject to the existing San Benito County 1985 *San Benito County General Plan* (the 1985 General Plan), which was adopted by the Board of Supervisors in 1985. The 1985 General Plan, as amended, establishes County policies for the growth and development of the County of San Benito. It identifies policies necessary to protect and enhance those features and services which contribute to the quality of life enjoyed by County citizens.

#### 2035 San Benito County Public Review Draft General Plan

In March of 2015, San Benito County released for public review the Draft 2035 General Plan (2035 General Plan), which has been accepted but not yet adopted by the Board of Supervisors. Once adopted, it will replace the 1985 General Plan. Because the application for the project was complete before the release of the draft 2035 General Plan, the existing 1985 General Plan applies to the project. But analysis of the 2035 General Plan is provided as additional information (per Government Code section 66474.2 [a]).

Under the 2035 General Plan (March 2015), a substantial portion of the project site is designated Planned Development (PD), and Rangeland (RG). Only a very small portion of land on the west side of San Juan Oaks Drive near Union Road is designated Agriculture (A), which would remain (through an easement) as an agricultural preserve.

Additionally, the entire project site is located within the San Juan New Community Study Area (NCSA) (see Figure 3-6: New Community Study Areas). The purpose of identifying these NCSA (there are four in total) is to provide the opportunity for San Benito County to accommodate some future growth in new unincorporated communities, while protecting productive agricultural lands, preserving open space, and creating a sustainable land use pattern in the county. As stated in the Land Use Element (page 3-28):

“Land within the New Community Study Areas has been identified as potentially appropriate for more intense development for a variety of reasons, including but not limited to: proximity to existing job centers, good access to existing transportation corridors, opportunities to provide public transit, opportunities for reducing vehicle miles traveled and traffic congestion, fewer impacts to high value agricultural land, opportunities for permanent preservation of open space, and fewer impacts to environmental resources. The definition of a New Community is intentionally flexible in order to allow proposals for a variety of project types that would generally increase development intensity (e.g., dwelling units per acre, jobs per square foot, etc.) above the underlying land use designation. New communities should include a mix of residential, commercial, employment, parks, and open space centered around community cores.”

The project is entirely consistent with the goals and intent of the San Juan NCSA to construct a new development that would preserve high value agricultural lands, be located close to an existing transportation corridor (Highway 156), provide opportunities for public transit, and establish a 1,243 acre permanent wildlife habitat as open space. Furthermore, the Specific Plan proposes a mix of residential, commercial, employment, parks, and open space centered around community cores, consistent with the policy intent of the 2035 General Plan NCSAs.

#### General Plan in Relation to This Specific Plan

A detailed consistency analysis of the goals and policies with both the 1985 and 2035 general plans can be found in the Land Use section of the Del Webb at San Juan Oaks Specific Plan Subsequent Draft EIR, which concluded that the project was consistent with both general plans.

Together with the Specific Plan, San Benito County has the discretion to approve the necessary amendments to the existing General Plan to provide for the land uses, goals and policies described in this Specific Plan. [Chapter 2: Land Use and Development Standards](#) outlines goals

and policies which support the goals and policies of both the 1985 and 2035 General Plans.

In situations where policies or standards relating to a particular subject have not been provided in this Specific Plan, the policies and standards in the 1985 General Plan will continue to apply because the vesting tentative map application was deemed complete in 2014.

### 1.5.2. San Benito County Zoning Ordinance

The *San Benito County Zoning Code* (the Zoning Ordinance) provides a countywide framework of regulations that address topics such as permitted uses, development standards, parking and landscaping regulations, permit procedures, and sign regulations.

This Specific Plan includes the development standards that will apply to the Specific Plan area. In situations where policies or standards relating to a particular subject are silent in this Specific Plan, the existing regulations of the Zoning Ordinance will continue to apply. In the event that any provision in this Specific Plan conflicts with Zoning Ordinance, the provisions set forth within the Specific Plan shall prevail.

## 1.6. Statutory Requirements of a Specific Plan

This Specific Plan implements the goals and policies of the General Plan, serves as an extension of the General Plan, and can be used as both a policy and a regulatory document. The purpose of this Specific Plan is to implement the project vision by providing goals, policies, programs, development standards and design guidelines to direct future development within the Specific Plan area.

## 1.7. Authority to Prepare

A “specific plan” is a planning and regulatory tool made available to local governments by the State of California. Specific plans implement a General Plan through the development of policies, programs and regulations that provide an intermediate level of detail between General

Plan and individual development projects. State law stipulates that specific plans can only be adopted or amended if they are consistent with an adopted General Plan.

The authority to prepare and adopt a Specific Plan and the requirements for its contents are set forth in California Government Code Sections 65450 through 65457. Section 65451 states, “A Specific Plan shall include text and a diagram or diagrams which specify all the following in detail:

- The distribution, location, and intent of the uses, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which the development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulation, programs, public works projects, and financing measures to carry out the plan.
- The Specific Plan shall include a statement of the relationship of the specific plan to the General Plan.”

## 1.8. Environmental Review

The California Environmental Quality Act (CEQA) classifies a specific plan as a “project” which is subject to environmental review. The San Juan Oaks Specific Plan Subsequent Environmental Impact Report (SEIR) (State Clearinghouse # 2013101006) evaluates this Specific Plan and related approvals as a single project. The project site consists of parcels that are anticipated to be further subdivided and developed over an extended period of time. The SEIR analyzes environmental impacts of the

## 1 | INTRODUCTION

potential developments within and needed for the Specific Plan area and proposes mitigation measures to reduce significant environmental impacts to a less than significant level as defined by CEQA, if feasible.

The intent of preparing a project-level SEIR is to expedite the processing for related concurrent or subsequent approvals that are consistent with this Specific Plan, if it is determined that the proposed development would not result in new environmental impacts nor require additional mitigation.

Through a project-level SEIR, the County can approve future applications within the Specific Plan area without an additional environmental document or, if there are changes to this Specific Plan, additional environmental review need only focus on areas of change.



Image courtesy of Steve Loos Photography

# 2

## **LAND USE AND DEVELOPMENT STANDARDS**

This chapter explains the conceptual land use plan for the Specific Plan area; identifies land use policies, and defines the land use designations unique to the Specific Plan. Development standards for each land use designation are also described.



## 2.1. Land Use Concept

The San Juan Oaks Specific Plan (the Specific Plan or project) creates land use designations that will implement the land use goals and objective outlined below. The land uses, intensities, sizes and locations are designed to focus the vision of a *residential and regionally-serving visitor recreation community* that offers a rich variety of activities, lifelong learning, and strong neighborhood networks.

It is designed to accommodate visitor-serving activities associated with a resort hotel and existing golf course as well as provide limited commercial uses to serve the local community (residents and visitors) and to reduce the need to leave the Specific Plan area for daily needs, thereby reducing traffic impacts. The land uses are designed to support the Specific Plan land use concept and will act as the regulatory “zoning districts” for each use.

### 2.1.1. Active Community Living

The Project is made up of two primary components. The first component will be developed by Del Webb, a subsidiary of Pulte Group, and consists of an “active-adult community” (i.e. age-restricted to 55 years and older) including 1,017 single-family residences on 176 acres. This component also includes an amenity center to serve project-residents and their guests, which would be located on approximately 10 acres. The amenity center will consist of an approximately 17,500 to 25,000 square foot main building, and is anticipated to include a multi-purpose room for community events, a fitness center, a craft room, locker rooms, administrative spaces, and a covered swimming pool. It will also include a variety of outdoor uses which may include a swimming pool, tennis courts, pickle ball and bocce courts, and barbeque areas.

The active adult (Del Webb) community will be a place where active adults can grow as individuals and be part of a close-knit setting, all the while enjoying a renewed outlook, new experiences and deeper friendships. They are part of a community and it is a part of them. It will also provide a place where visitors can enjoy a variety of recreation

amenities including access to an existing golf course that is nationally recognized.

The second component will be developed by San Juan Oaks, LLC and would consist of 67 non-age restricted single-family residential units, a 200-room resort hotel (on approximately 35 acres), up to 65,000 square foot neighborhood commercial area (on approximately 14 acres). The neighborhood commercial center would consist of small scale retail, medical, and professional services. These services may include, among others, a bank, medical offices and out-patient services, a restaurant, a small market, a coffee shop, a bakery, insurance offices, financial brokerage offices, a local use vehicle sales/service center, storage, including RV storage, or other similar services. Also within the neighborhood commercial area will be an approximately four-acre assisted living/skilled nursing/memory care facility with up to 100 beds.

### 2.1.2. Ample Parks & Open Space

Throughout the project site, the project proposes to provide a substantial amount of open space areas and park facilities. This includes four private neighborhood parks totaling 6.6 acres in the active-adult community for use of project residents, two community parks totaling 16.8 acres, and approximately 114 acres of common area open space, including landscaped areas and informal trails.

The project would also establish approximately 41 acres of on-site agricultural preserve and set aside approximately 1,243 acres for permanent wildlife habitat preservation. A majority of this habitat preservation area is located within the southern-most portions of the project site and would remain perpetually restricted from future development through deed restrictions and/or other appropriate legal instruments. The proposed habitat preservation area currently supports limited cultivated agriculture, grasslands, oak savannah, and mixed oak woodlands and is currently used for grazing and dry land farming.

Off-site, the project has established an agricultural easement on 153 acres of prime farmland, located on San Justo Road north of the City of San Juan Bautista (the Silva Property) which will maintain that acreage in agricultural use in perpetuity.

### 2.1.3. Mobility Choices

Residential neighborhoods are defined and identified at the highest level by a series of arterial, collector, and neighborhood streets. These neighborhoods are further defined by parks, a pedestrian/bicycle network, open space common areas, an amenity center, a resort hotel, and an existing golf course and associated club house. Land uses are also visually and physically connected to other uses by efficient circulation infrastructure, continuity of streetscapes, complementary design features, and by the nature of their compatibility.

Residents will be able to live and pursue leisure activities without relying solely on their automobile. The individual neighborhoods are designed to facilitate pedestrians, bicyclists, and local use vehicle drivers throughout the project site. Specific details describing these linkages and the interfaces between uses are described in [Chapter 4: Circulation and Streetscape Design](#).

### 2.1.4. Natural Resource Protection

The existing natural features of the project site are preserved to the greatest extent feasible. The Specific Plan proactively maintains and enhances significant plant communities and enhances the quality and viability of important natural environments. It will also restore and enhance the natural surface water drainage conditions by designing a system that will protect and enhance the functions and values of aquatic resources on-site.

Views of the oak woodland hills, the agricultural fields, and the adjacent golf course will be notable features of the community. The land plan has been specifically designed to maximize these views and create a nexus between the community and the surrounding natural environment.

## 2.2. Project Objectives

The Specific Plan is intended to create a high-quality residential development that is tailored to the needs of active adults as well as general residents and guests. The land plan provides a variety of recreation and local convenience services designed to meet the needs of

the community and help reduce the number of off-site vehicle trips for daily needs.

The following project objectives form the basis for anticipated outcomes for the project. They will also be used as the basis for evaluating future development applications and analyzing alternatives in the environmental review process.

### Specific Plan and SEIR Project Objectives

- Provide a mixture of residential unit types appropriate to the projected housing needs as identified in the San Benito County General Plan Housing Element;
- Provide space for retail and professional services, including a resort hotel site designed to provide convenient services to residents and guests and to complement and support the existing golf course;
- Provide a local use vehicle, pedestrian, and bicycle roadway network that accommodates both traditional and alternative modes of transportation to minimize auto use for shopping, services, and leisure activities;
- Provide flexibility in land use regulations to allow for site constraints, variations in housing styles, and changing market conditions;
- Promote a long-term project that provides for the creation of new jobs, recreational opportunities, and expanded housing opportunities;
- Create a project that has a fiscally-neutral impact on the County's financial and services resources;
- Integrate the natural and built environments to minimize the disruption of natural features, and to the extent practicable, blend with the landforms, trees, and water courses of the site;
- Establish residential neighborhoods that are inviting for residents and buffered from noise and other nuisance factors associated with agricultural practices, in accordance with County requirements; and

- Maintain San Benito County’s natural, rural and agricultural character by establishing a 1,243 permanent wildlife preserve and over 180 acres of on- and off-site agricultural preservation; and by being one of the first to use the County’s Transfer of Development Credit (TDC) program for the preservation of prime agricultural farmland.

### Additional Specific Plan Objectives

- Establish a community which can provide for the special social, recreational and housing needs of active adults who share common interests and lifestyles.
- Enhance living spaces by integrating the natural and built environments to minimize disruption of natural features, and to the extent practicable, blend with the landforms, trees and water courses of the site.
- Include a mix of housing types and densities which reflect the needs of the active adult marketplace including dwellings that are designed to be “affordable by design”.
- Integrate residential and non-residential land uses and provide a local use vehicle, pedestrian and bicycle network such that residents are encouraged to minimize auto use for shopping, services and leisure activities.
- Create a community with a strong sense of place and a range of recreation and mobility amenities by designing a unique streetscape that will serve to tie the neighborhoods together with an integrated design theme(s).
- Provide an efficient neighborhood circulation network that is bicycle-and pedestrian-friendly.
- Promote a long-term financially viable project that provides for the creation of new jobs, recreational opportunities, and expanded housing opportunities.
- Create a project that has a fiscally-neutral impact on the County’s financial and services resources.

- Maximize the potential for energy conservation through building and landscape designs and orientations which recognize the climatic conditions in the area.
- Promote environmental stewardship through the inclusion of progressive energy programs and standards in construction and ongoing operation of residential and commercial buildings; by including over 1,200 acres of wildlife preserve and over 200 acres of on- and off-site agricultural preservation; and by being one of the first to use of the County’s Transfer of Development Credit (TDC) program.

### 2.3. Land Use Summary

As shown in [Figure 2-1a and b: Conceptual Land Use Plan](#), the Specific Plan encompasses 1,993.6 acres. The dominant land uses are single family detached residential neighborhoods. Other uses include an amenity center, a resort hotel, neighborhood commercial, parks, an existing golf course and clubhouse, and permanent wildlife habitat.

1,084 dwelling units are proposed at an average density of six (6) per acre. Based on a projected population of 1.67 per household for the active adult community (1,017 units) and 3.51 per household for the conventional housing (67 units), the plan area is expected to accommodate 1,933 residents in the single family detached residential neighborhoods. With the inclusion of guests at the resort hotel and residents of the assisted living/skilled nursing/memory care facility, the plan area is expected to accommodate an average of 2,400 people at any given time. A summary of the land use by type is shown in [Table 2-1: Land Use Summary](#).

Figure 2-1a: Conceptual Land Use Plan

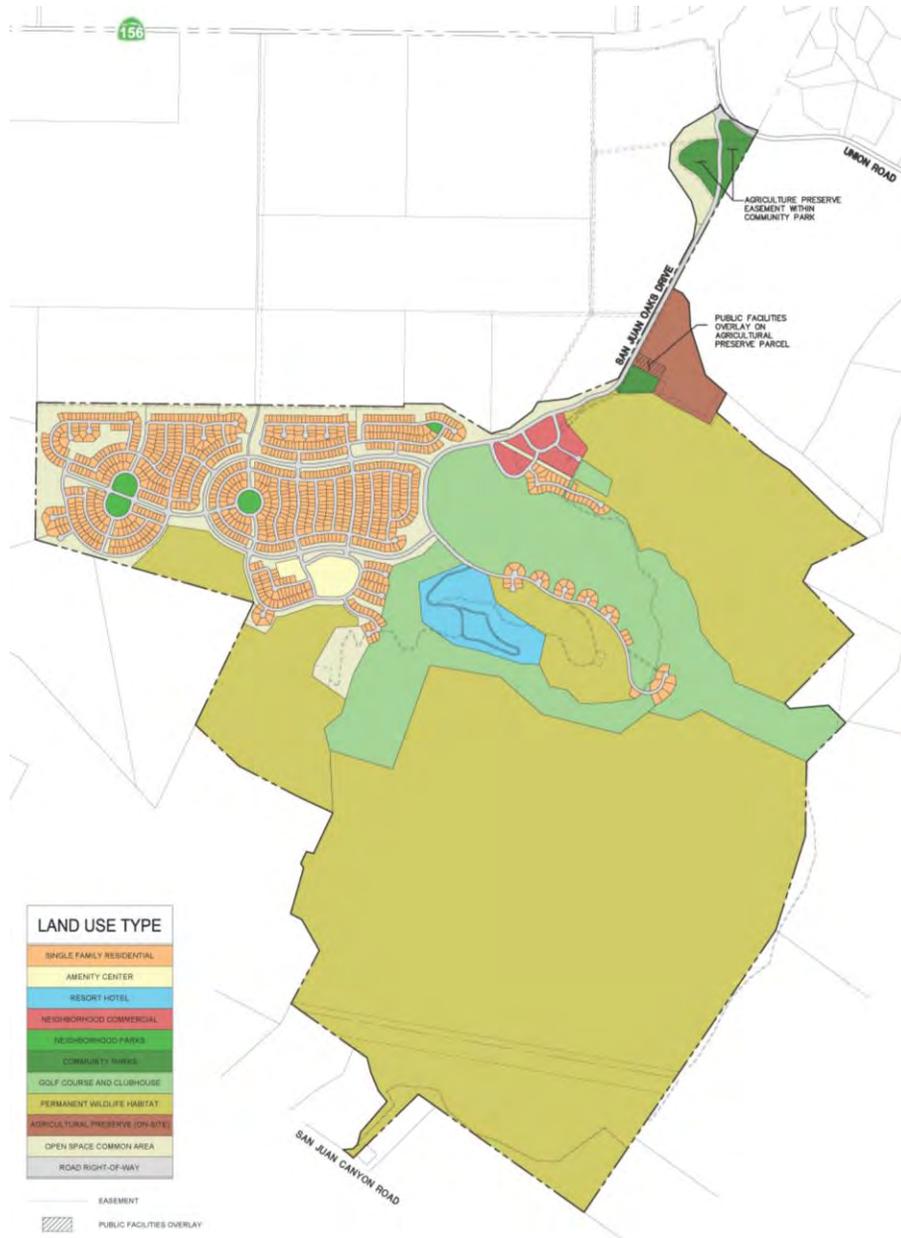
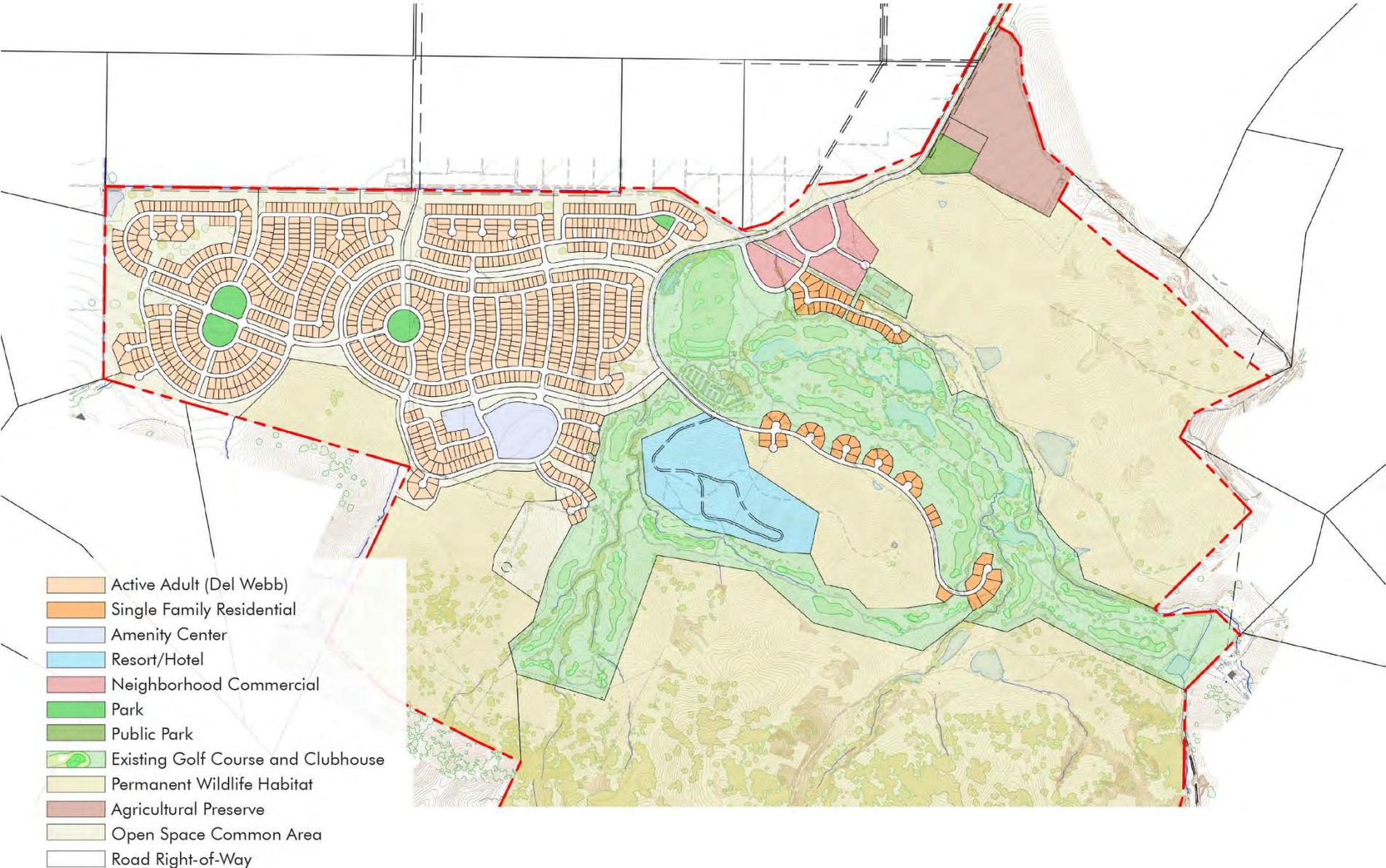


Figure 2-1b: Conceptual Land Use Plan (Development Areas)



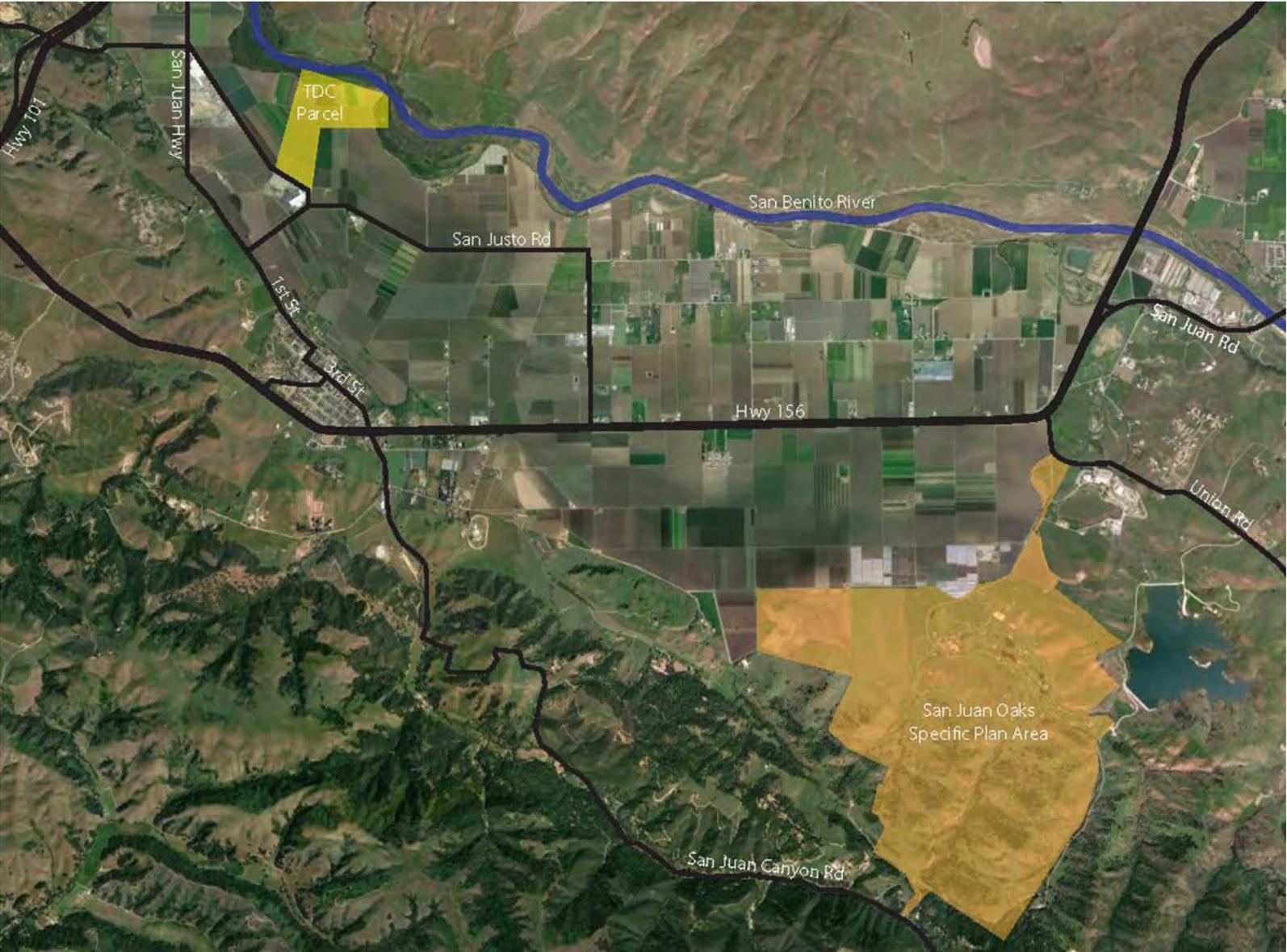
**Table 2-1: Land Use Summary**

Land Use District	Total Net Acreage	Net Density	Total Development Potential
Single Family Residential	175.6	6 du/ac	1,084 units
Amenity Center	10.1	--	25,000 sf.
Resort Hotel	34.6	--	200 rooms
Neighborhood Commercial <sup>1</sup>	14.1	.14 (FAR) <sup>2</sup>	65,000 sf. / 100 beds
Neighborhood Parks	6.6		
Community Parks	16.8		
Open Space Common Area	114.4		
Golf Course & Clubhouse	261.7		
Agricultural Preserve (on-site) <sup>3</sup>	41.4		
Permanent Wildlife Habitat	1,243.1		
Roadways	88.2		
<b>Total <sup>4</sup></b>	<b>1,993.6</b>		

Notes:

1. Includes an approximately four -acre assisted living/skilled nursing/memory care facility with up to 100 beds.
2. FAR – Floor Area Ratio. Exclusive of assisted living care facility.
3. The Agricultural Preserve total includes a 13.0 acre easement located within the Community Park parcels, and 2.0 acres that contains a public facilities overlay. An additional 153 acres of Agricultural Preserve land is located off site (see [Figure 2-2: Off-site Transfer of Development Credit Parcel](#)).
4. Due to permitted uses within SJO-AP, total acreages exceed total land area by approximately 13 acres. Actual total land area is shown.

Figure 2-2: Off-site Transfer of Development Credit Parcel



## 2.4. Land Use Categories

To implement the stated concepts and goals of this Specific Plan, land uses have been grouped into ten land use categories. A description of these land use types is described below. See [Table 2-8: Permitted Uses](#) for more detail on the permitted uses in each land use district.

### 2.4.1. Single Family Residential (SJO-SFR)

The project will contain 175.6 acres of residential neighborhoods accommodating up to 1,084 single family detached residential units with an average density of six (6) dwelling units per net acre. No attached or multi-family units are proposed.

1,017 of the single family lots will be located within the active adult (Del Webb) community of the project. These homes will be age-restricted (55 years and older) and will be part of a separate active adult community home owners association (AHOA).

67 lots will be constructed as conventional single family residential units in the San Juan Oaks component. Of these, 37 lots will be constructed south and east of the existing clubhouse along a new roadway which will be an extension of San Juan Oaks Drive. 30 single family lots will be constructed south of the proposed neighborhood commercial center (described below) and the existing golf maintenance facility.

Each of the single family neighborhoods will contain a mix of lot sizes and types, intermingled as the market and site conditions require. Residential lots will have a consistent minimum depth, a diversity of lot widths and designed to create an interesting and varied street frontage. Density averaging will be utilized to meet the average density and to allow flexibility in selecting a mix of dwelling unit types as described in the Development Standards section of this Specific Plan.

### 2.4.2. Amenity Center (SJO-AC)

The Specific Plan includes an Amenity Center to be located on two parcels totaling 10.1 acres. It will serve as the “focal point” for the active-adult community component of the project, hosting social and recreational activities. It will be located at the southern edge of the core

residential community and at the base of the Hollister foothills, affording views of the hillsides, Fremont Peak State Park and the agricultural valley landscape.

The main building will be 17,500 to 25,000 square feet. Typical uses and facilities within the main building may include a multi-purpose room for community events (e.g., dances), a fitness center, a craft room, locker rooms, administrative spaces, and an indoor swimming pool (which may be included in the main building or in a separate building).

Outdoor recreation uses will likely include a separate outdoor swimming pool, tennis courts, pickle ball courts and bocce courts, benches and shade structures. Outdoor barbeque and eating spaces may also be constructed.

The Amenity Center will be linked to the rest of the Specific Plan area through pedestrian, bicycle and local use vehicle path connections. It will be operated by the AHOA for the use of AHOA members and their guests.

### 2.4.3. Resort Hotel (SJO-RH)

The resort hotel with up to 200 guest rooms is proposed south of San Juan Oaks Drive and the existing clubhouse on 34.6 acres. This hotel is currently approved as part of the existing vesting tentative map, and is included as a part of the overall project.

Preliminary concepts envision a hotel designed as a series of casitas structures accessed from an internal loop road. A separate main building would provide additional hotel rooms and various amenities such as a small meeting room(s), a restaurant, a fitness gym, a spa facility, and “back-of-house” facilities such as laundry, maintenance and administrative space.

The resort hotel guest rooms may traditional hotel rooms, timeshares or traditional units, or some combination thereof. Regardless of the room classification, transient occupancy tax (TOT) will be paid to the County whenever a room is occupied.

Final plans for the hotel will be refined once a hotel developer is identified.

#### 2.4.4. Neighborhood Commercial (SJO-C-2)

Up to 65,000 square feet of Neighborhood Commercial is proposed on 14.1 acres adjacent to the San Juan Oaks Drive and east of the active adult community. Uses will be primarily small scale retail, medical, and professional services meant to serve the daily convenience needs of the project's residents. This could include but are not limited to a bank, medical offices and out-patient services, a restaurant, a small market, a coffee shop and bakery, professional services (e.g., insurance, financial brokerage, etc.), local use vehicle sales and service, storage including RV storage, and other similar services that support the community's needs.

Within the Neighborhood Commercial area will be an approximately four-acre assisted living/skilled nursing/memory care facility with up to 100 beds. This facility will be designed for elderly residents who need assistance with activities of daily living. Such facilities are designed to promote independence and provide personal care assistance according to individual needs in a home-like environment. It will include individual and shared dwelling accommodations with some units providing a private kitchen area, bathroom, and sleeping area or bedroom.

#### 2.4.5. Community Parks (SJO-CP)

Two Community Parks (16.8 acres total) are proposed for the project site. Both parks will provide passive recreation amenities to all residents of San Benito County and visitors alike.

Both Community Parks would be constructed by the Applicant and owned by the County. Maintenance would occur and be funded by either the AHOA or through the formation of a community facilities district (CFD).

These parks and conceptual site plans are described in Chapter 6 – Parks, Open Space & Landscaping, below.

#### 2.4.6. Neighborhood Parks (SJO-NP)

Four neighborhood parks, three just over two acres in size and one a half acre in size (6.7 acres total), are proposed within the active-adult community to serve residents and their guests. These parks will provide passive recreation amenities such as walking paths, picnic tables, and barbeque grills and will also provide opportunities for stormwater management. They will also function as aesthetic landmarks that will be landscaped with signature trees, shrubs and flowers, and/or other structural features appropriate to the sites with a conservation focus on native and drought tolerant plants and trees.

These neighborhood parks will be owned and maintained by the AHOA.

#### 2.4.7. Open Space Common Area (SJO-OS)

114.4 acres of open space will be located throughout the active-adult residential areas and along the west side of San Juan Oaks Drive. It will consist of landscaped areas that will include informal trails in some areas and "natural" style planting design. These areas will also be potentially used for stormwater biofiltration and storage similar to the parks. These areas also include existing and proposed drainage channels that convey existing stormwater flows through the project. The project will utilize low-impact development measures and sustainable practices such as recycled water for irrigation, if available, and drought-tolerant plant materials.

The landscape elements (planting, lighting, fencing, walls, etc.) for these areas will be designed to reflect the character of this region in San Benito County, with special attention to the "early California" and natural rural look that gives the area its distinct and informal identity. For this, as well as conservation and functional reasons, planting options will emphasize drought-tolerant, hardy materials and compatibility with existing surrounding native and adaptive plants in that region.

The landscaping will seek to achieve a balance between "natural" open space landscaping, designed to blend into existing surroundings, and more structured landscape elements – such as streetscape trees, project entry statements, and the project amenity center – that are part of the interior character of the urban community. However, all of these areas,

both natural and more formal, will be compatible with each other in form, color, materials, and theme.

Land within the Open Space Common Area will be owned and maintained by the AHOA.

### 2.4.8. Golf Course & Clubhouse (GC)

The existing San Juan Oaks Golf Course & Clubhouse will largely remain unchanged. However, there will be several course modifications to suit the needs of the proposed project and to upgrade and improve playability. These include the following:

- The tee box to golf course hole number 9 will be moved south and away from the proposed residential lots south of the existing golf maintenance facility.
- Golf course hole number 14 will be reconfigured from a dual fairway to a single fairway to accommodate and buffer from the proposed resort hotel.
- Tee boxes for golf course hole numbers 10 and 11 will be relocated.
- The interior of the existing clubhouse will be remodeled and upgraded but no change in uses are proposed.
- A portion of the golf course's existing water demand may be served with recycled water, if available.
- Other miscellaneous modifications (e.g., sand trap elimination, addition of tees, etc.).

These changes are preliminary and may be refined based on final design plans.

### 2.4.9. Agricultural Preserve (SJO-AP)

An on-site approximately 41 acre Agricultural Preserve (SJO-AP), currently used for row crops (28 acres) and olive orchards (13 acres), will be located north of the Commercial Neighborhood and on the east side of San Juan Oaks Drive. This area will continue to be used for agricultural purposes. This area includes two (2) acres as a public facilities overlay. As an additional public benefit, the Applicant will offer to dedicate to the County the two acres site for a potential future fire station for a period of 15 years, after which the site would revert to the Owners if the County does not construct the fire station. Additionally, the 13 acre Community Park, described above, is also be identified as an Agriculture Preserve easement.

Off-site, the project has established an agricultural easement on 153 acres of prime farmland, located on San Justo Road north of the City of San Juan Bautista (the Silva Property) (see Figure 2-5). This land consists of two contiguous parcels, including an approximately 80-acre parcel and an approximately 73-acre parcel.

San Juan Oaks caused the agricultural easement to be placed on this property, preserving it in perpetuity for agricultural uses and making it eligible for transferring the residential density to the San Juan Oaks property through the transfer of development credit (TDC)<sup>1</sup> program as regulated by San Benito County Zoning Ordinance Chapter 25.07 (Agricultural Districts).

---

<sup>1</sup> The Transfer of Development Credit (TDC) program was established by San Benito County to provide an incentive to conserve natural resources and protect prime farmland while simultaneously promoting infill development with smaller lots. The program allows land owners of prime agricultural land—the “sending area”—to transfer (“send”) the development

potential to an area planned for residential development—a “receiving area.” The agricultural landowner is compensated for maintaining the agricultural land in production instead of developing it, and the receiving area is allowed to develop at a higher density.

All of these areas will be preserved for agricultural use with an easement placed on the land to require that they are used for agricultural purposes in perpetuity.

Both on- and off-site agricultural preservation areas would be preserved for agricultural use by the recording of conservation easements, or the imposition of other appropriate legal mechanism(s) over the land to ensure they are used for agricultural purposes in perpetuity. Improvements to roadways, signage, agricultural support facilities, and utilities would be permitted on the agricultural preserve areas, so long as such improvements were viewed as consistent with the agricultural purpose of the area.

#### 2.4.10. Permanent Wildlife Habitat (SJ0-WH)

Approximately 1,243 acres of the southern, and eastern, and northeast hills portion of the Specific Plan area will be set aside as a Permanent Wildlife Habitat area. With the exception of associated access roads and trails, this land will be designated as non-buildable through deed restrictions or another similar method.

A conservation easement will be placed on these parcels (named Parcels W1.1, W2.1, W1.3, W1.4 and W1.5), and a Geologic Hazard Abatement District (GHAD) will be established by the Applicant, to fund management activities of the easement in perpetuity.

The Additional information regarding the management of the Permanent Wildlife Habitat area is described further in [Chapter 7: Resource Management](#).

#### 2.4.11. Geologic Hazard Assessment District

The Project will include the creation of a Geologic Hazard Abatement District (GHAD) to provide for long-term monitoring and maintenance of project open-space slopes, in-tract slopes, drainages, storm water detention and treatment improvements, and to respond to slope maintenance issues in a timely and efficient manner.

A GHAD is well suited to integrate multiple monitoring and maintenance functions in addition to its primary function of prevention, mitigation, abatement and control of geologic hazards. Through a Plan of Control, the document that describes the duties of a GHAD, the GHAD can also assume duties which may include maintenance of fire breaks, trails, fences, stormwater facilities, water-quality ponds and vegetation and habitat management in open space areas. Having the GHAD responsible for vegetation and habitat management allows these activities to be accomplished with sensitivity toward slope stability issues and other site geologic conditions.

GHADs are funded by an assessment of the property owners within the boundaries of the GHAD. The assessment is based on projected funding requirements necessary to address future maintenance responsibilities, geologic events, habitat management, and to accumulate appropriate long-term reserves for these functions. Financial projections are typically prepared showing a multi-year period for the GHAD. It is anticipated that the GHAD will function for the duration of the development. As needed, the GHAD manager can retain outside professionals to perform certain duties, particularly by land management specialist such as biologists, botanists, arborists, and engineers.

Note: If a GHAD is not implemented, another similar type of funding mechanism will be used to monitor and maintain the project site.

Additional detailed description about the GHAD can be found in Chapter 7 Resource Management.

#### 2.4.12. Roadways

##### On-Site Roadway Improvements

On-site Roadway improvements include both extension of existing roadways and the construction of new roadways within the project site. The existing San Juan Oaks Drive will be extended approximately 4,000 feet east to provide access to 37 new conventional residential lots.

New onsite roadways will be constructed to service the Neighborhood Commercial area and the residential lots to the south, and for the new active adult (Del Webb) community.

All of the roadways will be privately owned and managed either by San Juan Oaks, LLC or the AHOA associated with the Del Webb active adult community. Additionally, on-site Emergency Vehicle Access easements will be included in select locations on expanded golf course cart paths.

Additional information of the roadway hierarchy and circulation, including roadway cross sections, is described in [Chapter 4: Circulation and Streetscape Design](#).

### **Off-Site Roadway Improvements**

#### *State Route 156 / Union Road Intersection*

The California Department of Transportation (Caltrans) proposes to widen State Route 156 in San Benito County from two lanes to four lanes from The Alameda in San Juan Bautista to the Hollister Bypass, approximately 0.2 mile east of Fourth Street (Business Route 156) in San Benito County.

Even without the Specific Plan, the Caltrans project is needed because the two-lane conventional highway between the existing expressways creates a conflict between slow-moving trucks and farm equipment and fast-moving private vehicles, which results in congestion and unsafe conditions. An illustration of the proposed roadway improvement is shown in [Figure 2-3: Caltrans Proposed Highway 156 Improvement project](#).

The final preferred alignment calls for the construction a four-lane expressway south of the existing State Route 156 and using the existing State Route 156 as a northern frontage road. On eastbound Highway 156 at Union Road, Caltrans plans to construct one dedicated left turn lane (to connect to the new frontage road), two through lanes, and a dedicated right turn lane onto southbound Union Road. On westbound Highway 156 at Union Road, Caltrans plans to construct a dedicated

right-turn lane north to the frontage road, two through lanes, and a dedicated left turn lane onto Union Road.

On Union Road, Caltrans plans call for the widening and reconfiguring of the roadway to accommodate one southbound lane, and for northbound travel; two dedicated left turn lanes, one through lane, and one dedicated right-turn lane.

#### *Union Road / San Juan Oaks Drive*

Union Road at San Juan Oaks Drive is currently an unsignalized “T” intersection. North and south bound Union Road contain a dedicated left turn lane and a through lane and a dedicated right and through lane, respectively. San Juan Oaks Drive contains a single south bound lane and two dedicated left and right turn northbound lanes at the intersection.

Given the increased traffic volumes associated with the project, traffic congestion at this intersection is anticipated, particularly for outbound traffic turning left onto Union Road.

When warranted (as determined in the SEIR), the project developer will work in coordination with San Benito County to improve this intersection and related geometric lane improvements.

#### *Emergency Vehicle Access*

Primary access to the project site will be via San Juan Oaks Drive. In case of emergency, a secondary emergency vehicle access route will be constructed within an existing 60 to 85 foot wide right-of-way that extends 5,320 ft. north from the active-adult community to the south side of the existing Highway 156 alignment (see [Figure 4-16: Emergency Vehicle Access Route](#)). This roadway will only be open to vehicle traffic during emergencies. It could also be used as an easement for utilities, if necessary.

Figure 2-3: Caltrans Proposed Highway 156 Improvement Project



### 2.5. Phasing Plan

Development of the Specific Plan area includes five (5) development phases, with anticipated build-out occurring over a period of approximately 10 years.

The development phases are intended to occur sequentially, although portions of phases may occur concurrently, depending on market demand, amongst other factors. Development of each phase would include all infrastructure, services, facilities and amenities, both public and private, needed to serve the uses and structures within each phase. It is anticipated that each of the development phases may include sub-phases which may result in the development and recordation of multiple Final Maps to facilitate the full implementation and build-out of the project.

Over the course of the five phases, parks sites, private recreational facilities, and other improvements and amenities will be provided commensurate with the residential and commercial development pursuant to terms in the Development Agreement and other entitlements.

Figure 2-4: Project Phasing Plan and Table 2-2: Phasing Plan identify proposed development phasing within the project site. Dedication of the permanent wildlife habitat area will occur at or prior to obtaining building permits for Phase 1.

Changes to the proposed phasing may occur as proposed by the Applicant, subject to approval of the San Benito County Planning Director.

**Table 2-2: Phasing Plan**

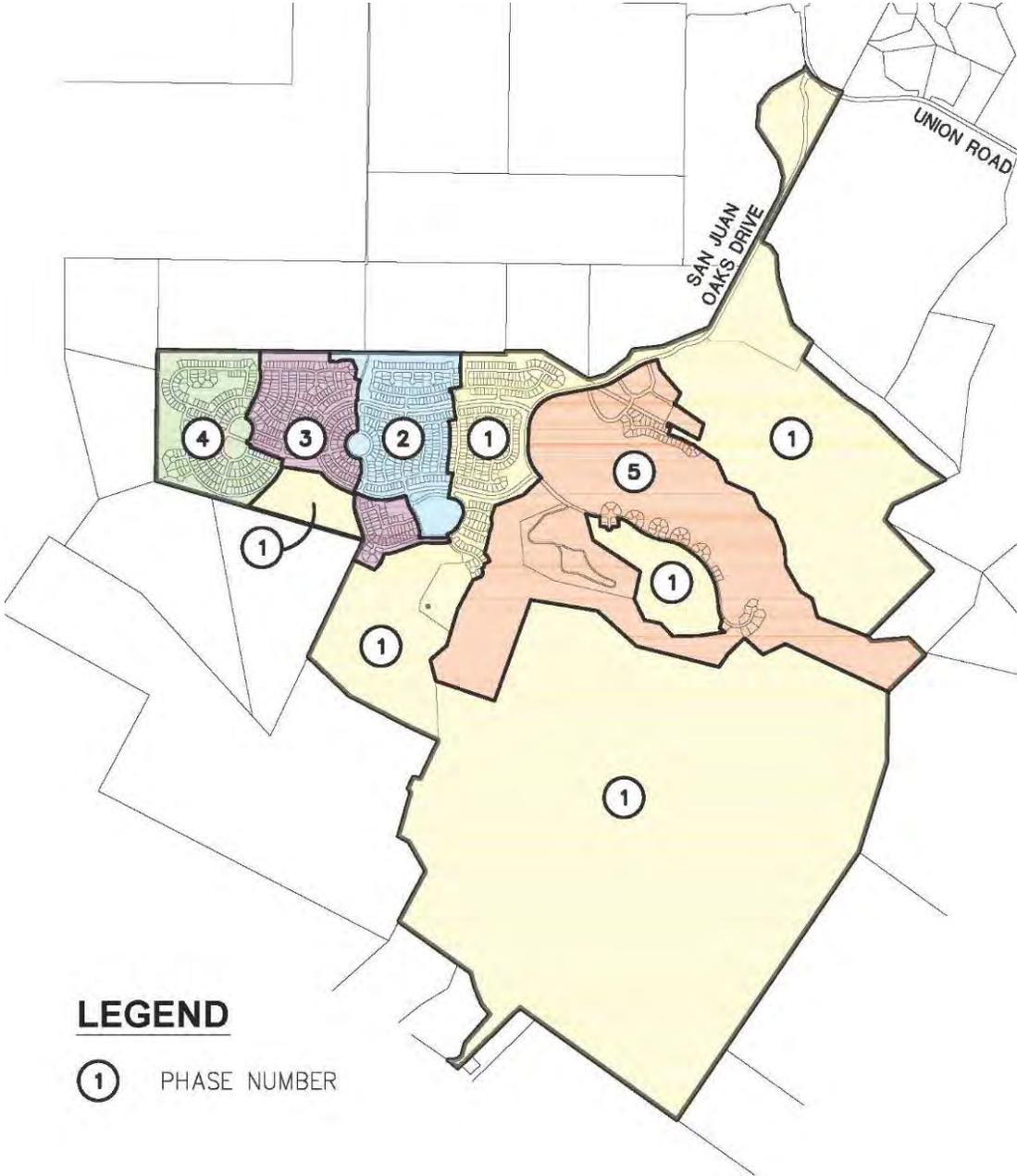
Phase	Gross Area (acres)	Residential	Non-Residential
1	1,409.9	270	
2	85.4	262	25,000 sf. <sup>1</sup>
3	81.4	278	
4	79.2	207	
5	337.7	67	200 rooms <sup>2</sup> / 65,000 sf. <sup>3</sup> 100 beds <sup>4</sup>
<b>TOTAL</b>	<b>1,993.6</b>	<b>1,084</b>	

Notes:

- 1. Amenity Center
- 2. Resort Hotel
- 3. Neighborhood Commercial
- 4. Assisted care facility.

Source: Whitson Engineers, 2013.

Figure 2-4: Project Phasing Plan



## 2.6. Infrastructure and Services

Figure 2-1: Conceptual Land Use Plan provides for a variety of land uses within the Specific Plan area. Each of these land uses will be served by existing and future utilities infrastructure planned for future development in and around the Specific Plan area. Project development will require the removal or relocation of exiting utilities, and construction of new utilities within the Specific Plan area. This section briefly describes onsite infrastructure and services. Chapter 5: Infrastructure and Public Services provides greater detail on infrastructure and public services improvements as part of development of the Specific Plan area.

### 2.6.1. Storm Drainage

Located at the base of a hillside, the project site is subject to stormwater flows which ultimately flow into San Benito River.

The project has been designed to avoid fill in either of the two jurisdictional drainages located within the project site. The presence of two jurisdictional drainages (D & G) was verified by the USACE during previously completed resource agency permitting efforts.

A small (+ 280 linear feet) section of Drainage G was previously permitted for fill but would now not be filled due to proposed revisions to the development areas and the use of a new span bridge, arch culvert or equivalent. Drainage G, as it flows along and outside the northerly property line, would remain unchanged be widened and expanded (and enhanced with riparian plantings). A parallel on-site into a perimeter drainage feature will be constructed as part of the project to carry convey site runoff through a series of ponds to the northwest corner of the property and then back to Drainage G offsite to the north.

No fill would occur in Drainage D beyond what was authorized for the previously approved VTM through permits issued by the USACE and RWQCB. Stream crossings to support necessary roadways and trails would be clear span bridges, arch culverts or equivalent and would avoid fill within the flow line of the stream channel. Repair and/or replacement of in-stream facilities (e.g. culverts, weirs), and ongoing maintenance of drainage capacity in channels would be allowed in drainages.

The project will implement a multi-tier stormwater management strategy specifically designed to mitigate any potential hydrologic impacts and to protect and enhance the functions and values of aquatic resources on-site and in downstream areas. Aspects of the overall stormwater management plan will include use of site design features to limit rainfall runoff, efficiently collecting and retaining or detaining runoff, providing water quality treatment, and managing peak flows leaving the project site.

### 2.6.2. Wastewater

The existing wastewater system on the project site consist of a gravity flow sanitary sewer lines that extend west from the clubhouse and golf snack bar to a leach field located just west of San Juan Oaks Drive.

Wastewater generated from the Specific Plan area will be collected and conveyed through a conventional gravity system of pipes located within the new street right-of-ways. The estimated dry weather sanitary sewer flow is 166,000 gallons per day (GPD) and the peak wet weather flow is 455,000 GPD (Whitson Engineers, 2014).

This wastewater will be collected at one of two pump stations to be located in Open Space Common Area areas at the northern boundary of Phase 1 and Phase 4. Wastewater will then be conveyed via a sanitary sewer force main approximately 1.6 miles north to the end of San Juan Oaks Drive and 1.3 miles along Union Road and San Juan Hollister Road to the City of Hollister's domestic wastewater treatment plant/water reclamation facility (DWWTP/WRF), located just north of San Juan Road.

In the event that project wastewater cannot be conveyed to the City of Hollister's DWWTP/WRF for treatment and disposal, the project Applicant propose the construction of an optional on-site waste-water treatment plant (WWTP) within a portion of the Neighborhood Commercial area. The wastewater facility would be a stand-alone on-site wastewater reclamation system (aka "package" or "batch plant") that would serve the proposed land uses.

### 2.6.3. Water Supply

The project Applicant will be responsible for building the water supply system for the proposed project. Once constructed, the system will be operated and managed by a separate entity – either a regulated public utility or a mutual water company. There are two existing and available sources of water supply for the proposed project: groundwater and imported Central Valley Project water. Recycled water is not presently available but may be in the future. Both imported water and recycled water (if available) are limited to non-potable uses such as irrigation as they will not be treated for human consumption. As such, these sources of supply would be used to meet specific demands of the project.

A more detailed discussion regarding water supply is described in Section 5.1, below.

### 2.6.4. Joint Trench (Gas, Electricity, and Telecommunications)

Gas and electric service for the Specific Plan area will be provided by Pacific Gas and Electric Company (PG&E). Telecommunications services are provided by AT&T and Charter Communications. These utilities currently serve the existing site and will be expanded to the rest of the site by the Developer commensurate with each phase of the project.

## 2.7. Development Standards

The purpose of this section is to provide land use development standards that apply to each of the land use designations. These include standards regarding permitted uses, building height limits, parking requirements, and setbacks.

These development standards should be used in conjunction with [Chapter 3: Design Guidelines](#), which describe and illustrate building designs, concepts, and features that will promote the high-quality development that is envisioned for the Specific Plan area.

Where development standards are not described, the standards as described in the San Benito County Zoning Ordinance shall apply.

### 2.7.1. Single Family Residential (SJO-SFR)

Single Family Residential (SJO-SFR) is defined as a dwelling unit that is occupied by one family, does not share a common wall, is not attached to another home, and provides both front door and garage access from a residential street or common driveway. Single family homes will be constructed lots ranging in size between 4,500 and 10,000 square feet with private rear yard space; however, eight estate lots may be up to approximately 20,000 square feet with private yard space. SFR generally faces a residential street or common driveway.

The SJO-SFR land use district allows for development of a maximum of 1,084 detached single family dwelling units with an average density of six (6) dwelling units per net acre. Of these units, 1,017 will be in the active adult community and the remaining 67 will be located east of San Juan Oaks Drive.

#### Principal Dwelling

- Individual lots, typically with residential street or common driveway frontage
- One dwelling per lot
- Private rear yards
- Garages may be attached or detached
- Resident parking on individual lots. 2 covered side-by-side parking spaces shall be provided.
- Guest parking 1 guest space per dwelling (driveway, on-street or designated parking areas)

#### Accessory Dwelling Units and Structures

- Accessory structures shall conform to the San Benito County Zoning Ordinance, Section 25.03.002.
- Accessory dwelling units shall conform to the San Benito Zoning Ordinance Sections 25.27.001 through 25.27.004. Both accessory structures and dwelling units must be attached to the primary dwelling unit.

**Other Development Standards**

- Home occupations are allowed per the San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.29 (General Requirements), Article IV (Businesses in the Home), Section 25.29.093.
- All setbacks at corner lots shall meet the intersection sight distance design criteria of the Highway Design Manual and as regulated by the San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.29 (General Requirements), Article I (General Provisions), Section 25.29.013 (Unobstructed Signal Distances, Fences, Walls, and Plantings).
- Architectural projections such as porches and patios, landings, steps, bay windows, media nooks, fireplaces and other similar features are allowed to project into setback.
- Setbacks shall be measured to back of sidewalk. If no sidewalk, setback shall be measured to right-of-way.
- Allowed encroachments into setbacks include: patios, utility boxes, cantilevers, roof eaves, and other similar features.

Development of Single Family Residential (SJO-SFR) shall be regulated by the standards set forth in [Table 2-3: Single Family Residential \(SJO-SFR\) Development Standards](#) and [Table 2-7: Permitted Uses](#).

**Table 2-3: Single Family Residential (SJO-SFR) Development Standards**

Item	Standard
Lot Area (Minimum)	4,500 square feet
Lot Width Interior (Minimum) Corner (Minimum)	45 feet 50 feet
Parking (Minimum) <sup>1</sup>	2 covered spaces / dwelling
Useable Private Open Space (Minimum)	
Front Setback Living space to back of sidewalk (Minimum)	15 feet
Garage Setback Face of garage to back of sidewalk (Minimum)	18 feet
Side Setback Interior (Minimum) Corner (Minimum)	5 feet 10 feet
Rear Setback Living space to back of sidewalk (Minimum)	12 feet
Building Height (Maximum)	40 feet
Number of Stories (Maximum)	2
Accessory Structures	Per San Benito County Code, Section 25.03.002

**Notes:**

- (1) Parking shall be provided in accordance with San Benito County Zoning Ordinance, Chapter 25.31 (Parking Regulations).

### 2.7.2. Amenity Center (SJO-AC)

The Amenity Center (SJO-AC) will be located on two parcels totaling 10.1 acres. It will serve as the “focal point” for the active-adult community component of the project, hosting social and recreational activities.

The main building will be 17,500 to 25,000 square feet. Typical uses and facilities within the main building include a multi-purpose room for community events (e.g., dances), a fitness center, a craft room, locker rooms, administrative spaces, and an indoor swimming pool (which may be included in the main building or in a separate building).

Outdoor uses may include a separate outdoor swimming pool, tennis courts, pickle ball courts and bocce courts, both with benches and shade structures. Outdoor barbeque and eating spaces may also be constructed.

The Amenity Center will be linked to the rest of the Specific Plan area through pedestrian, bicycle and golf cart path connections. It will be operated by the active adult community home owners association (AHOA) for the use of AHOA members and their guests.

Development of Amenity Center shall be regulated by the standards set forth in Table 2-4: Amenity Center (SJO-AC) Development Standards and Table 2-7: Permitted Uses.

**Table 2-4: Amenity Center (SJO-AC) Development Standards**

Item	Standard
Building Setback from street right-of-way <sup>1</sup> One-story buildings Two-story buildings	25 feet 30 feet
Building Setback from Open Space, landscaping	No minimum
Outdoor recreation facilities setback from street right-of-way <sup>2</sup>	25 feet
Parking lot Setback from residential lots	25 feet
Building Height Maximum Tower element(s)	40 feet 55 feet
Parking	1 parking space per 300 sf. of gross floor area. <sup>3 and 4</sup> Bicycle parking per County approval.

**Notes:**

- (1) Inclusive of landscaping.
- (2) Includes outdoor swimming pool, tennis courts, pickle ball courts and bocce courts
- (3) The number of required parking spaces may be reduced on a 1:1 ratio up to a maximum of ten percent (10%) if an equivalent number of local use vehicles (e.g., golf carts, neighborhood electric vehicles) are provided.
- (4) Per SBC requirements (25.31.061), compact car parking stalls may be provided for up to 30% of the required off-street parking, where at least 15 parking stalls are provided.

### 2.7.3. Resort Hotel (SJO-RH)

The resort hotel with up to 200 guest rooms is proposed south of San Juan Oaks Drive and the existing clubhouse on 34.6 acres. This hotel is currently approved as part of the vesting tentative map, and is included as a part of the overall project.

Preliminary concepts envision a hotel designed as a series of casitas structures accessed from an internal loop road. A separate main building would provide additional hotel rooms and various amenities such as a small meeting room(s), a restaurant, a fitness gym, a spa facility, and “back-of-house” facilities such as laundry, maintenance and administrative space.

The resort guest hotel rooms may be traditional hotel rooms, timeshares or traditional units, or some combination thereof. Regardless of the room classification, transient occupancy tax (TOT) will be paid to the County whenever a room is occupied. Final plans for the hotel will be refined once a hotel developer is identified.

Development standards for external areas are as follows:

- Building Landscaping – a five foot minimum landscaped area shall be provided to separate ground floor units from pedestrian walkways, project amenities and drive aisles/parking areas.
- Drop-off Zones – a porte-cochere and/or covered drop-off zone for vehicles and pedestrians, independent of drive aisles, shall be provided to accommodate guest loading and drop-off and serve as the formal entry to the hotel.
- Pedestrian Walkways – the primary pedestrian walkway should generally be a minimum of eight feet wide. Primary walkways are those that connect a pedestrian from the street to the main entry and from the building to any on-site amenities. All other secondary walkways are to be a minimum of four feet in width exclusive of vehicle overhang.

The Resort Hotel may include guest rooms, restaurant/snack bar, indoor or outdoor pool and/or spa, fitness center, business center, conference

rooms, lobby, other supporting services and amenities. Development of Resort Hotel shall be regulated by the standards set forth in [Table 2-5: Resort Hotel \(SJO-RH\) Development Standards](#) and [Table 2-7: Permitted Uses](#).

**Table 2-5: Resort Hotel (SJO-RH) Development Standards**

Item	Standard
Building Site Area	The minimum building site area shall be determined by the Planning Commission, subject to a user permit, on a case-by-case basis and in accordance with applicable laws, once refined design-level plans and development details have been provided to the County. All plans shall be sufficient to provide for required landscaping, parking, and pedestrian circulation.
Building Setback from ROW/Perimeter Property Line (minimum)	15 feet
Building Setback from Permanent Wildlife Habitat area	20 feet
Parking lot setback from street right-of-way <sup>1</sup>	10 feet
Parking lot setback from side or rear property line <sup>1</sup>	10 feet
Building Height Maximum Tower element(s)	45 feet 55 feet
Building-to-building separation (minimum)	5 feet
Parking <sup>2</sup>	One stall for each guestroom, plus four stalls, plus one stall for each shift employee.

**Notes:**

- (1) Inclusive of landscaping.
- (2) Per SBC requirements (25.31.061), compact car parking stalls may be provided for up to 30% of the required off-street parking, where at least 15 parking stalls are provided.

### 2.7.4. Neighborhood Commercial (SJO-C-2)

Up to 65,000 sf. of Neighborhood Commercial is proposed on 14.1 acres adjacent to the San Juan Oaks Drive and east of the proposed active adult community. Uses will be primarily small scale retail, medical, and professional services meant to serve the daily convenience needs of the project's residents.

- Main or multistory structures shall be located on the site to facilitate internal circulation and to minimize visual impacts on adjacent residential units.
- All main or multistory buildings should generally be oriented to the interior of the site rather than to existing perimeter streets. Primary access to the buildings and parking areas shall be through an interior street circulation system.
- Principal activity areas, including but not limited to the primary entrances to buildings, shall be oriented away from existing residential uses with more passive activities being located nearer to those residential uses.
- Open and landscaped areas shall be provided around buildings and shall be employed to highlight primary entrances.
- Parking areas shall be located to provide efficient and convenient access to uses and to contribute to an overall circulation pattern.
- A landscaped area not less than fifteen (15) feet wide shall be maintained along any property line to the extent it abuts a street, except at approved driveways.

#### **Assisting Living/Skilled Nursing/Memory Care Facility**

Within the Neighborhood Commercial area will be an approximately four-acre assisted living/skilled nursing/memory care facility with up to 100 beds. This facility will be designed for elderly residents and other individuals who need assistance with activities of daily living. Such facilities are designed to promote independence and provide personal care assistance according to individual needs in a home-like

environment. This facility would include individual and shared dwelling accommodations with some units providing a private kitchen area, bathroom, and sleeping area or bedroom.

As required by the California Department of Social Services, Community Care Licensing Division (2013), the following development standards will apply:

- Private resident units must be a minimum of 80 square feet, and double occupancy resident units must be a minimum of 130 square feet.
- Resident rooms must be furnished by the licensee or resident and be of sufficient size to allow for mobility of the resident and equipment.
- A maximum of two residents are allowed per resident unit.
- Private and shared toilets, bathing, and lavatory facilities are allowed. There must be at least one toilet and washbasin for each six persons, and one bathtub or shower for each 10 persons, including residents, family, and facility-dwelling staff.
- Facility personnel must be sufficient at all times to provide the services necessary to meet resident needs. When caring for 16 or more residents, there must be awake night staff.

Development of Neighborhood Commercial shall be regulated by the standards set forth in [Table 2-6: Neighborhood Commercial \(SJO-C-2\) Development Standards](#) and [Table 2-7: Permitted Uses](#).

**Table 2-6: Neighborhood Commercial (SJO-C-2) Development Standards**

Item	Standard
Building Site Area	The minimum building site area shall be determined by the Planning Director, in accordance with applicable laws, on a case-by-case basis and shall be sufficient to provide for required landscaping, parking, and pedestrian circulation.
Building Setback from ROW/Perimeter Property Line (minimum)	15 feet
Building Setback from Agricultural Preserve and Permanent Wildlife Habitat areas	20 feet
Parking lot setback from street right-of-way <sup>1</sup>	10 feet
Parking lot setback from side or rear property line <sup>1</sup>	10 feet
Building Height <sup>2</sup> Maximum Tower element(s)	45 feet 55 feet
Building-to-building separation (minimum)	10 feet
Parking <sup>3 and 4</sup> Commercial	Per San Benito County Zoning Ordinance Section 43.6.
Assisting living /Skilled Nursing/Memory Care Facility	One (1) parking space for each three (3) beds.

Notes:

- (1)Inclusive of landscaping.
- (2)Ground floor retail uses should include shops and restaurants that serve daily needs. Less intense uses, such as professional office and residential, should be located in 2nd and 3rd story space if such multi-story buildings are constructed.
- (3)The number of required parking spaces may be reduced on a 1:1 ratio up to a maximum of ten percent (10%) provided an equivalent number of local use vehicles (e.g., golf carts, neighborhood electric vehicles).
- (4)Per SBC requirements (25.31.061), compact car parking stalls may be provided for up to 30% of the required off-street parking, where at least 15 parking stalls are provided.

### 2.7.5. Community Parks (SJO-CP)

There are no specific development standards for Community Parks. A description of these parks and conceptual site plans can be found in Chapter 6, Parks, Open Space & Landscaping, below.

Conceptual Plans (see [Figure 6-1: Community Park Conceptual Site Plan](#)) were approved by the San Benito County Parks & Recreation Commission on March 10, 2015. Detailed designs will be prepared by the Applicant and submitted for review and compliance with all applicable County standards prior to construction.

### 2.7.6. Neighborhood Parks (SJO-NP)

There are no specific development standards for Neighborhood Parks. A description of these parks and their amenities can be found in Section 2.4 Land Use Categories, above.

Four neighborhood parks, three just over two acres in size and one a half acre in size (6.6 acres total), are proposed in the active adult (Del Webb) community. These parks will provide passive recreation amenities such as walking paths, picnic tables, and barbeque grills. They will also function as aesthetic landmarks that will be landscaped with signature trees, shrubs and flowers, and/or other structural features appropriate to the sites with a conservation focus on native and drought tolerant plants and trees.

Land within these neighborhood parks will utilize recycled water for irrigation, if available, and will be owned and maintained by the active adult community AHOA.

Detailed designs will be prepared by the Applicant and submitted for review and compliance with all applicable County standards prior to construction.

### 2.7.7. Open Space Common Area (SJO-OS)

Development within this district shall be restricted to drainage facilities, landscaping, trails, and associated elements, including lighting, fencing, walls, benches, signage, irrigation systems, and utilities. Other uses not

currently envisioned but appropriate to SJO-OS designation may be constructed per approval of the Planning Director.

### 2.7.8. Golf Course & Clubhouse (SJO-GC)

Areas within this land use district are already developed with a golf course and clubhouse. Changes to these uses will be made to suit the needs of the proposed project and generally upgrade and improve playability and overall golf experience. Development within this land use district shall be limited to the 18-hole golf course, clubhouse and associated facilities (with dining and retail establishments), practice areas (e.g., putting green and driving range), and associated roadways, cart paths, parking, and maintenance buildings, all of which currently exist. [Section 2.4.7: Golf Course & Clubhouse \(GC\)](#) identifies specific improvements that would be made within this land use district.

### 2.7.9. Agricultural Preserve (SJO-AG)

Areas within this land use district shall be preserved for agricultural use with an easement placed on the land to require that they are used for agricultural purposes in perpetuity. Development within this land use district shall be regulated by San Benito County Zoning Ordinance, Chapter 25.07 (Agricultural Districts). This land use district can also be used for development credits as implemented through the San Benito County Transfer of Development Credit Ordinance (see Section 2.4.8).

Community Parks (SJO-CP) are a permitted use within this designation, consistent with the provisions as described in this Specific Plan.

This designation also includes two (2) acres as a public facilities overlay for a potential future fire station for a period of 15 years following Board approval of this Specific Plan, after which time the site would revert to the Owners if the fire station is not constructed.

### 2.7.10. Permanent Wildlife Habitat (SJO-WH)

Development within this land use district shall be prohibited through use of deed restrictions or another similar method. Improvements associated with infrastructure improvements (e.g., stormwater, water tanks, pipes, erosion control devices, etc.), trails and associated amenities (e.g.,

benches, signage), and hiking and grazing activities are permitted. Limited, low-impact recreation activities such as camping, horseback riding, and hunting will continue to be allowed.

## 2.8. Permitted Uses

[Table 2-7: Permitted Uses](#) identifies the statutory permitting/approval requirements for each land use in the Specific Plan area. Where a land use is not identified or this Specific Plan is otherwise silent, provisions identified in the San Benito County Zoning Ordinance shall apply. Where there is uncertainty, the Director of Planning & Building Inspection Services has the discretion to make a determination on the suitability of the proposed use. Narrative descriptions of the respective land use categories are described as follows.

### 2.8.1. Agriculture

The act of cultivating the ground, including harvesting of crops and rearing and management of livestock, tilling, husbandry, farming, horticulture and forestry; the science and art of the production of plants and animals useful to humans, including apiaries, aviaries and dairying.

### 2.8.2. Assisted Living / Skilled Nursing / Memory Care

A facility that provides housing and onsite medical services for the elderly and those needing assistance or memory care services.

### 2.8.3. Drive-through and Drive-in Businesses

Any establishment in which the customer or client is served while still present in their vehicle.

### 2.8.4. Golf Course

A facility that includes a regulation golf course (minimum total length is 3,000 yards for 9 holes and 6,000 for 18 holes) and associated facilities, such as a driving range, putting practice area, and clubhouse with dining and retail establishments.

### 2.8.5. Local Use Vehicle Sales and Repair

A commercial facility that repairs, services, and/or sells local use vehicles (LUVs). Typically, LUVs are electric vehicles such as golf carts that are limited to 25 miles per hour (MPH) and can be driven legally only on streets with a posted speed limit of 35 MPH or less.

### 2.8.6. Lodging

Any establishment that rents rooms for transient occupancy to overnight guests for periods of 30 or fewer calendar days. Such uses include hotels, motels, bed and breakfasts, and hostels. Lodging uses may include ancillary retail uses and dining businesses that provide convenience to the traveling public.

### 2.8.7. Live/Work Units

A combination of living space and working space for personal and professional service and office uses that the owner of the unit operates the business.

### 2.8.8. Neighborhood Commercial

Any retail business that is 20,000 square feet or less and generally serves local residents. Such uses include but are not limited to retail stores, personal and professional services, neighborhood retail, dining establishments, cafes, and bakeries. Additionally, office uses and services uses are included. Such uses include health services, insurance agents, real estate offices, and financial institutions.

### 2.8.9. Park (Commercial or Neighborhood)

A landscaped area that is used for passive and/or active recreational activities.

### 2.8.10. Residential Single Family

Detached single family residential dwelling units (houses). Although the primary purpose is for living, this use allows for home occupation in accordance with the development standards in this chapter.

### 2.8.11. Storage Facility

A facility that provides private enclosed storage areas for the use of patrons, including recreation vehicle storage. In addition to the storage areas, a sales/management office and ancillary retail sales (e.g., moving supplies) may be provided.

### 2.8.12. Subdivision Sales Office

A facility that provides office space for home sales within the Specific Plan area. Such facilities may be provided in a temporary structure (e.g., mobile office) or within a permanent building (e.g., a residential dwelling unit). Such uses are temporary and shall be vacated at such time when all of the dwelling units within the Specific Plan have been sold and sales office use is no longer needed.

### 2.8.13. Temporary Use

Any non-permanent use as defined by San Benito County Zoning Ordinance, Section 25.29.015.

**Table 2-7: Permitted Uses**

Use	Single Family Residential (SJO-SFR)	Amenity Center (SJO-AC)	Resort Hotel (SJO-RH)	Neighborhood Commercial (SJO-C-2)	Community / Neighborhood Parks (SJO-CP/NP)	Open Space Common Area (SJO-OS)	Golf Course & Clubhouse (SJO-GC)	Agricultural Preserve (SJO-AG)	Permanent Wildlife Habitat (SJO-WH)
Agriculture	P	P	P	P	P	P	P	A	A
Assisted Living / Skilled Nursing / Memory Care	P	P	P	A	P	P	P	P	P
Drive-through and Drive-in Businesses	P	P	P	C <sup>1</sup>	P	P	P	P	P
Golf Course	P	P	P	P	P	P	A	P	P
Local Use Vehicles (LUV)	P	P	P	A	P	P	P	P	P
Lodging	P	P	A	P	P	P	P	P	P
Live/Work Unit	A	P	P	P	P	P	P	P	P
Neighborhood Commercial	P	P	P	A	P	P	P	P	P
Park	P	P	P	P	A	P	P	P	P
Residential Single Family	A	P	P	P	P	P	P	P	P
Home Occupation <sup>2</sup>	A	P	P	P	P	P	P	C	P
Accessory Building	A	P	P	P	P	P	P	C	P
Accessory Structure / Second Dwelling Unit <sup>3</sup>	C <sup>1</sup>	P	P	P	P	P	P	C	P
Storage Facility	P	P	P	A	P	P	P	P	P
Subdivision Sales Office	A	A	P	A	P	P	P	P	P
Temporary Use <sup>4</sup>	A	A	A	A	A	A	A	A	P

**A – Allowed                      P – Prohibited                      C – Conditional Use Permit**

Notes:

- (1) In accordance with the San Benito County Code, Title 25 (Zoning Ordinance) Chapter 25.15 (Commercial Thoroughfare (C-1) and Neighborhood Commercial (C-2) Districts, Article II (Commercial Thoroughfare (C-1) District, Section 25.15.023 (Permitted Uses, Use Permit Required in Each Case), and Chapter 25.43 (Conditional Use Permits)
- (2) As defined by the San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.29 (General Requirements), Article IV (Businesses in the Home), Section 25.29.090 (Home Occupation and Rural Home Enterprise Defined). Allowed if regulations in Sections 25.29.093 are met.
- (3) As defined by the San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.03 (Definitions), Section 25.03.002.
- (4) As defined by the San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.25 (Mobile Homes and Recreational Vehicles), Sections 25.25.003 (Temporary Use Permits) and Chapter 25.29 (General Requirements), Article I (General Provisions), Section and 25.29.015 (Temporary Uses). Requires Conditional Use Permit as outlined in San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.43 (Conditional Use Permits).

# 3

## DESIGN GUIDELINES

This chapter explains design concepts and establishes design policies and design guidelines for development within the Specific Plan area. These guidelines address the built form for the various land use designations as well as general guidelines related to mobility and parking, landscaping and signage.



The guidelines within this chapter describe and illustrate building designs, concepts, and features that will promote the high-quality development that is envisioned for the Specific Plan area. The design guidelines should be used in conjunction with the development standards described in [Chapter 2: Land Use and Development Standards](#).

These design guidelines will serve to promote cohesive design and community identity. Graphics and photographic images are included as a visual reference and should not be interpreted as the only design solution. Creative approaches are encouraged.

These Design Guidelines serve the following functions:

- To establish design guidelines for site design, architecture, circulation, parking, lighting, and other distinguishing features.
- To provide developers, builders, planners, architects, landscape architects and property owners with guidelines and recommendations, to aid in maintaining the high level of community cohesiveness and unity, while still allowing for a degree of personal expression.
- Create highly desirable neighborhoods that are an asset to the Specific Plan area and the County of San Benito.
- Encourage sustainable design solutions that reduce energy consumption, use water efficiently, and minimize waste.
- Promote mobility while potentially reducing greenhouse gas emissions, encouraging healthier lifestyles, and providing opportunities for social interaction.
- Create simple building designs that result in efficient use of space, materials, and resources while maintaining a high level of design integrity and authentic architectural style.

The terms “shall”, “should”, and “may” are used within the Design Guidelines. The term “shall” is used to denote a design standard where compliance is required. The term “should” is used to denote a guideline that is recommended, but not required in all circumstances. The term “may” is used to denote a design treatment that is allowed or optional.

### 3.1. General Design Guidelines

This section applies to all future development within the Specific Plan area, including Single Family Residential, the Amenity Center, Neighborhood Commercial, and the Resort Hotel.

#### 3.1.1. Overall Building Design

- Buildings should be sited and designed to have a strong street presence along public frontages within the Specific Plan area, with the exception of Del Webb Boulevard, which would have landscaping and sound walls, where applicable.
- Building design and siting should take advantage of natural ventilation, heating, and cooling, sun and wind exposure, and solar energy opportunities. Passive solar orientation and design is encouraged to capture natural daylight and to use natural cooling techniques in place of air conditioning. Building siting should consider solar access for adjacent buildings.

### 3.1.2. Building Articulation

- Facades that are visible from streets, trails, outdoor gathering spaces, parks and open spaces, and parking areas shall be articulated to improve the design quality. Publicly visible facades shall include many of the following elements/treatments:
  - Change in plane
  - Change in colors, textures, materials, or masonry patterns
  - Stylized and/or recessed face, windows, or doors
  - Upper floor step-back
  - Overhanging roof eaves, porticos, awnings, canopies, lattice, or grates
  - Columns, posts, or tower elements
  - Three-dimensional expression lines, cornices, or roof parapets
  - Ribs or pilasters
  - Piers and fenestration pattern
  - A tree or other prominent and decorative landscaping features
  - An equivalent element that subdivides the wall into human scale proportions
- Completely blank side and rear building facades shall be avoided. These facades should include articulating elements such as windows, columns, changes in wall texture or color, change in wall plane, or other design feature that breaks up the mass of the building. The level of articulation of side and rear facades, especially those with limited public visibility, may be less than that of the front facade, but they shall not be devoid of articulating elements altogether.

### 3.1.3. Building Massing

- Varied building setbacks should be used when possible to provide articulation and functional features such as entrances, courtyards, outdoor dining or seating areas, etc.
- Bay windows, stepped buildings, height changes, and setback variations are encouraged between buildings to break up large buildings and create attractive, interesting entries and facades.
- Tower elements or other monumental features (within the allowed building heights specified in [Section 2.7: Development Standards](#)) are strongly encouraged at focal points such as corners, plazas, major entrances, or where walkways meet sidewalks. All elevations of a tower element or monument feature shall be completely constructed, with no blank walls or partially finished sides.
- Architectural elements such as windows, gables, arcades, awnings, and other similar features should be used to break up the massing of large buildings.



### 3.1.4. Indoor-Outdoor Relationship

- Architecture and site design shall respond to the regional climate by providing indoor-outdoor transitional spaces. Deeply covered, shaded, and protected areas create visual depth and interest while providing shelter and appropriate pedestrian scaled spaces for the public. A selection of the following features shall be utilized to provide meaningful outdoor gathering and entry spaces:
  - Porches, patios, verandas, courtyards, and gardens that accommodate outdoor seating areas or enhance entries.
  - Trellises that create a covered walkway to protect pedestrians from the sun, and provide aesthetic relief and a pedestrian scale to larger buildings.
  - Deep overhangs that provide shade and protection, but only used when appropriate to the architectural style and character of the building.
  - Awnings that cover entries or windows. Awnings shall be no longer than a single window or storefront and shall be of a style and color complementary to the architectural style and character of the building. Multiple awnings over individual windows are preferred over one covering an entire storefront.
  - Loggias that provide covered seating/gathering areas.
  - Arcades along storefronts that cover pedestrian walkways, separate buildings, or provide a more pleasing experience for pedestrians.



### 3.1.5. Building Materials, Colors, and Finishes

- A variety of high-quality, durable colors shall be provided to create interesting and attractive building designs and avoid monotony.
  - Green materials that withstand local environmental conditions are strongly encouraged, including recycled-content carpet, cellulose insulation, engineered lumber, certified wood, natural floor coverings, and recycled-content interior finishes.
  - Exterior colors and materials should be used to define the building form, details, and massing.
  - Low and no volatile organic compound (VOC) paint and finishes are encouraged.
  - When multiple buildings proposed, a minimum of two color schemes should be provided for each architectural style. In general, each color scheme should have 1 or 2 complimentary main colors and up to 3 complimentary accent colors that are appropriate for the architectural style and character of the building.
  - Materials and colors used on the front facade shall be wrapped along the side facade to an inside plane or to an appropriate transition point several feet beyond the front elevation to avoid the appearance of false facades.
  - Decorative elements shall be used to break up the plane of the facade and create visual interest. Encouraged decorative elements include shutters, exposed rafter ends, cross beams, decorative grille work, decorative stucco, clay pipe vents, decorative ceramic tile, and other similar features that are appropriate for the architectural style and character of the building.
  - Building details such as flashing, pipes, and metal vents may be used as an enhancement with complimentary colors/materials or painted to match the building or roof surface so as to virtually disappear.
- The natural color of brick, stone, and tile should be maintained; these materials should not be painted or glazed.
  - Corporate/franchise building colors, branding, and architectural features are prohibited, except for a temporary residential sale center, which may include corporate colors and standard design.
  - Side or rear facades that face walkways or streets shall only include false windows and door openings defined by frames, sills, and lintels, or similar modulations of the wall, when actual doors and windows are not feasible because of the nature of the building use.



### 3.1.6. Base and Top Treatments

- Where appropriate to the architectural style and character of the building, facades shall include treatments to define the building base, including:
  - Thicker walls, ledges or sills
  - Textured materials such as stone, masonry or textured concrete
  - Different colored materials such as ceramic tile, granite, marble, smooth finished stone or block, mullions or panels
  - Raised planter boxes
  - Enriched landscaping with a mature height of at least 18 inches
  
- Where appropriate to the architectural style and character of the building, facades shall include treatments to define the building top, including:
  - Cornice treatments
  - Roof overhangs (with brackets)
  - Stepped or shaped parapets
  - Textured materials
  - Different colored yet compatible materials



### 3.1.7. Entry Design

- Primary building entrances should be designed as features of the front facade.
- Awnings, overhangs, arcades, or other design features that provide shelter from the hot summer sun are encouraged around entries and along walkways that are adjacent to a building.
- Entries should be enhanced with additional elements to create a pedestrian scale, including massing variation and changes in materials, color, and roof form.
- Buildings that are part of a grouping and buildings with multiple businesses should include compatible design treatments such as arcades, awnings, and simple signage as entry elements. Individual storefront entries should be emphasized.
- Service entrances should be located and designed to be visually unobtrusive to site entries, building entrances, and streets. Service entrances should be located behind or on the side of buildings.



### 3.1.8. Windows and Doors

- Windows shall be proportional to the facade and reflect the architectural style and character of the building.
- Window size and shape shall provide a balanced relationship with the surrounding roof and walls.
- Accent shutters are encouraged (as appropriate to the architectural style of the building). Accent shutters shall be proportional to the window opening to appear functional. Shutters should be placed adjacent to the window frame in a manner that doesn't look "tacked on" or fake.
- Windows should further enhance, not dominate, the overall architectural character. Large unbroken expanses of glazing should be avoided.
- Energy efficient windows are strongly encouraged.
- Operable windows are strongly encouraged, especially for residential units, to provide natural ventilation and to enhance the indoor-outdoor relationship.
- Accent entry doors, traditional French doors, arched windows/doorways, shutters, pot shelves and window boxes, accent trim, and glass sliding doors are strongly encouraged for residential units, as appropriate to the architectural style.
- Windows with clear glazing are strongly encouraged. Dark tinted or reflective glass should be avoided.
- Large storefront windows are encouraged for neighborhood commercial uses to encourage pedestrian activity.
- Architecturally compatible relief detailing is encouraged on entry doors.
- Upper story windows that are visible from streets, walkways, parks, and common open spaces shall be designed with window trims and grids that match the front elevations of the structure.



### 3.1.9. Roofs

- A variety of roofing forms, pitches, slopes, details, and high-quality, durable materials should be used on buildings, and shall be compatible with the overall style and character of the building.
- Roof heights shall be varied to create visual interest and avoid monotony.
- Flat roofs (not allowed for active adult community residential units) shall be accompanied by a cornice, trim or other accent features.
- Gable ends shall be separated so they are not located adjacent to each other.
- Traditional cupolas and dormer-type elements are encouraged as accents on residential buildings.
- Roofs shall be constructed of high-quality, durable roofing materials and colors that are consistent with the architectural style of the building. Acceptable roofing materials include clay tile, concrete tile, or asphalt shingle. Unacceptable materials include pressed wood, corrugated fiberglass, and asphalt roll roofing.
- Roof colors and materials that meet or exceed Energy Star requirements shall be used to reduce the heat island effect.
- Rooftop solar panels, solar films, small-scale wind turbines, and other similar features may be used to generate energy.



### 3.1.10. Equipment Screening and Service Areas

- With the exception of solar panels and small-scale wind turbines, roof-mounted mechanical equipment should be avoided on the roof of single family dwelling units.
- Small-scale wind turbines and solar heating and energy production panels and films are encouraged. These items do not need to be screened, since screening may limit productivity.
- Roof-mounted mechanical equipment (excluding solar panels, solar films, and small-scale wind turbines) on non-residential buildings shall be screened from views from streets, walkways, common areas, parking lots, parks, and open space areas with parapets and other architectural features that are compatible with the architectural style and character of the building.
- Ground-mounted mechanical equipment shall be located behind privacy walls/fences, inside utility cabinets, and/or behind landscaping to screen from streets, walkways, parking lots, parks, and common areas. Items to be screened include, but are not limited to, power transformers/sectors, electrical equipment, backflow preventers, antennas, large satellite dishes, HVAC (heating, ventilation, and air conditioning) equipment, and other similar mechanical equipment and utilities.
- Ground-mounted equipment, refuse container enclosures, and similar uses that may become a nuisance shall not be located near windows of the building or adjacent building.
- Energy and water efficient appliances, fixtures, lighting, and windows shall meet or exceed state energy performance standards. Energy Star qualified (or equivalent rating system) models of mechanical equipment are strongly encouraged.
- Equipment should be located to maximize energy efficiency, such as by locating cooling equipment in shaded areas that are protected from the hot sun, thus reducing the energy needed to cool the air.



### 3 | DESIGN GUIDELINES

- Exterior on-site utilities shall be located underground, including drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communication wires and equipment.
- Service and storage areas shall be located behind or to the side of buildings and screened from public view of streets, common areas, and walkways with walls and/or landscaping integral with the building and site design.
- The location and hours of loading and unloading areas should be designed to minimize noise impacts on the surrounding residential neighborhood.
- The design of outdoor storage areas (including shopping cart storage) shall be integrated into the design of the adjacent buildings to avoid onsite visual impacts.
- Onsite temporary storage areas should be provided and designed to minimize impacts on adjacent uses.
- Storage, service, and loading areas shall be designed and located on-site so service vehicle activities and movements do not disrupt the on- and off-site traffic flow.
- Refuse collection and storage facilities should be generally located away from public areas or screened from public view. Refuse container enclosures shall be designed with similar architectural treatments and colors as the adjacent buildings.
- When centralized trash collection areas are required, enclosures should be located away from public and common areas and/or should include adequate screening in accordance with the local trash provider requirements.
- For single- family residential units, refuse bins shall be located within a garage or behind a fence, screened from streets or common open spaces.



### 3.1.11. Fences and Walls

- Fences and walls used throughout the Specific Plan area shall be constructed using high quality materials and consistent with the sophisticated, contemporary aesthetic of adjacent architecture and landscape.
- Street-adjacent and perimeter wall and fence design, location, and height shall reflect the character and overall aesthetic of the Specific Plan area and be consistent in quality and color palette to create a consistent aesthetic.
- Fences and walls along collector (divided or undivided) streets and project perimeters shall not exceed six (6) feet in height.
- Perimeter and street-adjacent walls and fences shall be constructed of attractive, durable, and low maintenance materials, including but not limited to precast concrete with textured or stone finishes, wood, wrought iron, tubular steel, wood, or other.
- Fences and walls along streets and should include three levels of landscaping: groundcover, shrubs and low plantings, and trees.
- Residential rear and side yard fences and walls shall not exceed six (6) feet in height, except as required for sound attenuation. Residential fences may be constructed of wood, masonry, vinyl, tubular steel, or a combination of masonry and tubular steel. Viewshed areas may incorporate wood and wire.
- Front yard walls and fences located within the setback area shall not exceed three (3) feet in height (3.5 feet for courtyards). Front yard walls and fences shall be constructed using high quality materials such as tubular steel, masonry, or wood. Front yard walls and fences may vary for visual interest but shall be complementary and retain a harmonious overall aesthetic.
- Landscaping shall be required along walls and fences to break up the massing and provide greenery throughout the Specific Plan area. Long, uninterrupted walls and fences (generally greater than 30 feet) shall be avoided along streets and adjacencies with parks, trails, and other common spaces.



### 3.1.12. Exterior Lighting

- Adequate lighting shall be provided throughout the site to create an inviting and non-threatening environment. Night lighting of public spaces shall be kept to the minimum necessary for safety and security purposes.
- The scale, materials, colors, and design detail of light posts and fixtures should reflect the desired character of the Specific Plan area and the architectural style of the surrounding buildings. Light posts shall be appropriately scaled to pedestrians near sidewalks and other areas of pedestrian circulation. Extremely tall light posts and fixtures shall be avoided. Bollard lighting is encouraged to illuminate walkways without providing spillover.
- Lighting fixtures shall be compatible with the architectural style and character of the building. The color, size, placement, and number of fixtures shall enhance the overall design and character of the building and site.
- Energy efficient, low voltage lighting is strongly encouraged. Decorative lighting shall be low intensity.
- Exterior lighting should be unobtrusive and not cause glare or spillover into neighboring properties, especially when within 100 feet of open space or wildlife habitat. Lighting fixtures should direct illumination downward to minimize light pollution impacts. Up-lighting, spot-lighting, and decorative color lighting may be appropriate for prominent buildings and features, but illumination shall not adversely impact neighboring properties with sensitive uses, such as residential or open space and wildlife habitat areas.
- If security lighting is required, security lighting fixtures shall be hooded, recessed, and/or located in such a manner to only illuminate the intended area.
- Addresses shall be visible from streets and illuminated at night.
- All exterior lighting shall be installed and maintained in accordance with the County Dark Sky Ordinance (County Code, Chapter 32).



### 3.1.13. Green Building

This Specific Plan is intended to promote green building practices to improve the overall quality of life for residents and to encourage innovative and sustainable design and construction techniques that reduce negative environmental impacts and promote positive environmental impacts. The following green building practices will be used throughout the Specific Plan area:

- Stormwater pollution prevention plan (SWPPP) includes environmentally responsible practices (e.g., concrete washout stations, erosion control straw wattles and silt fences, drain inlet filtration devices, etc.).
- Concrete roof tile waste, drywall waste, and wood framing waste material diverted and recycled off-site.
- Oriented strand board (OSB) used for framing shear panels and roof sheathing instead of plywood to sustain forests. OSB fiber is grown in sustainable forests and tree farms, reducing the demand for old growth timber. OSB uses nearly 90 percent of the log, with the remaining 10 percent being used to fuel mills.
- Engineered wood products (EWP) used for certain beams/headers for the same reasons listed above with OSB.
- Engineered roof trusses used to reduce wood fiber use and sustain forests.
- Radiant barrier roof sheathing offered as an option to improve energy performance where not offered as a standard.
- Medium density fiberboard (MDF) is made from the waste of other wood products and is specified for doors, trim, baseboard and shelving.
- Energy Star bath fans included with each home.
- Gas ranges included with each home along with dryers prepped for gas use.
- Bath exhaust fans include humidistat technology that turns fans on and off based on amount of humidity detected in the room.
- Fluorescent lighting in strategic locations to reduce energy use.
- Dimmer switches in strategic locations to reduce energy use.
- High efficiency toilets (HET) with a maximum of 1.28 gallons per flush.
- Kitchen faucets (1.8 GPM), bath faucets (1.5 GPM), and shower heads (2.0 GPM) that are 20 percent more efficient than typical low-flow plumbing fixtures.
- Cross-linked polyethylene (PEX) or chlorinated polyvinyl chloride (CPVC) plumbing system conserves water and energy by reducing the amount of time it takes for hot water to arrive at a fixture. PEX and CPVC plumbing have higher R-values which reduce heat lost from water as it travels through the piping.



### 3 | DESIGN GUIDELINES

- Solar panels offered as an option.
- Drip irrigation methods that conserve water consistent with existing regulations.
- Hydro-zoning of irrigation system to conserve water.
- Only formaldehyde free insulation products will be used.
- Only formaldehyde free wood trim products will be used.
- Low VOC water-based paints are encouraged.
- 13 SEER (seasonal energy efficiency ratio) / 11 EER (energy efficiency rating) high efficiency air conditioners standard.
- 80 percent annual fuel utilization efficiency (AFUE) furnaces standard, with option for 90 percent or higher.
- Wide range of polyethylene terephthalate (PET) carpet offerings made from recycled plastic bottles.
- Hardwood flooring options consist of engineered wood products to reduce use of wood fiber from mature old growth trees.

### 3.2. Residential Design Guidelines

The design intent for the residential neighborhoods of the Specific Plan area is derived from traditional place-making and neighborhood design principles. The resulting neighborhoods and homes will create high quality street scenes and a pedestrian friendly atmosphere. In addition, implementation of the residential design guidelines will promote sustainable designs that contribute to resource conservation, minimize greenhouse gases, and encourage healthy lifestyles.

These residential design guidelines should be referenced in conjunction with Section 3.1: [General Design Guidelines](#).

#### 3.2.1. Guiding Principles

Residential buildings in the Specific Plan area shall be designed to:

- Relate to the regional context.
- Create a walkable community.
- Provide parks and common open spaces that are both usable and sustainable.
- Promote social interaction.
- Provide neighborhood focal points and gathering places.
- Maximize connection to adjacent neighborhoods and other uses.
- Promote connectivity via a multi-modal circulation network including walking, bicycling, and local use vehicles.
- Utilize durable and sustainable building materials and construction practices that conserve resources and minimize waste.



### 3.2.2. Building Placement and Orientation

- Buildings should be designed so that living activity oriented towards the street and architectural detail and interactive architecture—including porches, courtyards, entries, and windows—are emphasized.
- A range of dwelling unit sizes, floor plans, and elevations shall be provided.
- When plotting the same floor plan immediately adjacent to and/or across the street from one another, a different elevation style should be used. Exterior color schemes should be varied for adjacent units with the same elevation style.
- Garages should be plotted next to garages and living space next to living space where feasible to undulate the street pattern and improve opportunities for on-street parking.



### 3.2.3. Visible Side and Rear Elevations

- Building mass shall be varied to minimize the visual impact of similar building silhouettes and similar ridge heights by using a variety of roof features.
- Additional architectural features such as trim, grids on windows, or shutters are strongly encouraged and shall be designed in a manner that is appropriate to the architectural style and character of the building.
- Additional articulation, where visible, is encouraged, including “eyebrow roofs,” pot shelves, patio covers, and similar features.



### 3.2.4. Building Projections and Architectural Features

- Building projections are strongly encouraged to add depth for the building facade, break up large wall masses, and provide visual interest. Building projections shall be appropriate for the style and character of the building.
- Building projections may include porches, stoops, balconies, decks, front courtyards, articulated entries, trellises, bay windows, roof overhangs, and similar features that reflect the architectural style and character of the building.
- Masonry walls that are 3.5 feet in height or less and that have a finish material to match the architectural style may be used within front setbacks for front courtyards.
- The size and scale of columns and posts should be varied and shall reflect the architectural style and character of the building. Whether freestanding or used as a support, columns and posts shall be designed to convey a solid, durable image.
- If the ground floor is elevated above the grade of the sidewalk, stoops should be provided to access ground floor units.



### 3.2.5. Garages and Accessory Structures

- Garages may be attached or detached to match the conditions of the site and provide variety between floor plans.
- Garages shall be recessed into the wall plane to provide shadowed relief.
- Multi-paneled roll-up style garage doors are strongly encouraged. Garage door patterns and colors should be varied between units.
- A combination of single and double car garage doors are encouraged to provide variety.
- Garage door window inserts are encouraged to allow natural light into the garage.
- Special driveway paving treatments and landscaping around the garage are encouraged to create visual interest.
- Garage placement shall be varied to avoid monotony. Examples of this include flush (garage is at the plane of the living space) and recessed (garage is behind the plane of the living space) garage placement. Garages may be further recessed behind the primary structure to provide further variation.
- Additional elements such as trellises and gates are encouraged to vary and enhance garage appearance.
- The number of garages that face the street should be limited to accommodate a maximum of four vehicles per unit.
- The architectural style, articulation, relief, and detailing for detached garages and accessory structures shall reflect the equivalent features on the main structure.



### 3.3. Residential Architectural Styles

Residential development within the Specific Plan area is intended to include a variety of architectural styles that reflect the character and attributes of a Northern California lifestyle as well as the historic character of the surrounding community.

The following styles shall be utilized as a basis for residential development within the Specific Plan area:

- Cottage
- Monterey
- Spanish Eclectic
- California Ranch
- Craftsman
- Tuscan

Residential units outside of the active adult community may include custom architectural styles not identified above.

On the following pages, each architectural style is defined by elements that are typical characteristics of that style. Suggested elements are those that help to further define the character of each style and will be required for each homebuilder. These added suggested elements are encouraged only. These style elements apply only to the front and publicly visible side and rear elevations. The photographs are intended to illustrate some of the typical characteristics of each style and are not intended as inflexible requirements or standards.



*This page intentionally left blank.*

### 3.3.1. Cottage

The Cottage is a picturesque style that has evolved from the medieval Tudor and Norman domestic architectural styles. The English and French inspired cottage style became extremely popular after the adoption of stone and brick veneer techniques.

Overall shapes and forms include variation of one and two story asymmetrical facades. Most recognizable and distinct features of this style are the stucco and wood or half-timber accents in the gable end.



**Table 3-1: Cottage Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>Main hip or gable roof with at least one intersecting forward gable or hip roof</b></li> <li>■ <b>5:12 to 8:12 roof pitch except min. 3.5:12 at 1-story roofs</b></li> <li>■ <b>Tight to 6-inch overhangs at rakes</b></li> <li>■ <b>6" to 12" overhangs at eaves</b></li> <li>■ <b>Flat concrete tile or composition shingles</b></li> <li>■ <i>Distinctive roof over entry</i></li> <li>■ <i>Gable treatment including siding, attic vent, or half-timber, etc.</i></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Stucco</b></li> <li>■ <i>Stone accents on front elevation</i></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Grid patterned at front and visible windows</b></li> <li>■ <b>Trim around front and visible windows</b></li> <li>■ <b>Plank shutters at accent windows</b></li> <li>■ <i>Wood shelves at window sills</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <b>Covered entry</b></li> <li>■ <i>Front porch with wood-like or stucco columns</i></li> <li>■ <i>Braces at wood-like columns</i></li> <li>■ <i>Wood or wrought iron balconies</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.



### 3.3.2. Monterey

With influences from both the Spanish and New England Colonial homes, the Monterey style includes Spanish detailing with the Colonial style form. Buildings of this style include stucco or masonry walls with “S” or flat concrete shake roofs and exhibit many elements of historical Spanish homes, including simple building form and mass, rusticated corbels (structural elements jutting from the wall), head trim, posts and balconies (if used), and gable roof forms.

Interpretations of this style maintain a simple elegance and may include additional refinements and Colonial details popular in the Spanish style. Monterey style buildings often have porches and second floor balconies or verandas; however, these are not essential. Successful adaptations of this style focus on careful massing, detail, and the natural beauty inspired by a blend of rich Spanish and Colonial heritage and influences.



**Table 3-2: Monterey Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>3.5:12 to 5:12 roof pitch</b></li> <li>■ <b>18” to 24” overhangs at eaves</b></li> <li>■ <b>Tight to 12” overhangs are rakes</b></li> <li>■ <b>Flat or “S” concrete title</b></li> <li>■ <i>Exposed rafter tails</i></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Stucco</b></li> <li>■ <i>Rusticated brick on first floor</i></li> <li>■ <i>Slump block on first floor</i></li> <li>■ <i>Sack finishes</i></li> <li>■ <i>Board and batt at upper level</i></li> <li>■ <i>Horizontal siding at upper level</i></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Shutters on feature windows</b></li> <li>■ <b>Vertically proportioned window configurations</b></li> <li>■ <i>Windows with divided lites</i></li> <li>■ <i>Decorative shutter hardware</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <b>Simple columns with base trim</b></li> <li>■ <b>Shaped wood corbels</b></li> <li>■ <b>Head and sill trim with 1 of the following materials: proportional stucco-wrapped, high-density foam trim, medium sand stucco finish (20/30 finish); or re-sawn wood trim; or simulated wood trim with re-sawn wood texture</b></li> <li>■ <b>Appropriately styled door and hardware</b></li> <li>■ <i>Cantilevered or supported balcony</i></li> <li>■ <i>Metal balcony railing</i></li> <li>■ <i>Spanish inspired lighting</i></li> <li>■ <i>Complementary hardware trim</i></li> <li>■ <i>Roll-up or carriage style garage door</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.



### 3.3.3. Spanish Eclectic

The Spanish Eclectic style takes its cues from the early Spanish missions and is an adaptation of Mission Revival, with additional Latin American details and elements. The style became widely popular after the 1915 Panama-California Exposition.

The use of tile roofs, smooth stucco walls, heavily textured wooden doors, and highly articulated ornamental ironwork create strong contrasts of materials and textures. Plans can be designed around a courtyard with a simple articulated front facade. Other design treatments may include scalloped windows and balconies with elaborate grillwork, decorative tiles around doorways and windows, and a bell tower.



**Table 3-3: Spanish Eclectic Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>Main gable roof (front to back)</b></li> <li>■ <b>3.5:12 to 5:12 roof pitch</b></li> <li>■ <b>Tight to 12" overhangs at rakes</b></li> <li>■ <b>8" to 12" overhangs at eaves</b></li> <li>■ <b>"S" concrete or clay tile</b></li> <li>■ <i>Cross gable at front</i></li> <li>■ <i>Shaped, stucco eaves or rafter tails</i></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Stucco</b></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Trim around front and visible windows</b></li> <li>■ <i>Grid patterned</i></li> <li>■ <i>Plank shutters on accent windows</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <b>Decorative gable treatment</b></li> <li>■ <i>Front porch with wood-like or stucco columns</i></li> <li>■ <i>Corbels at wood-like columns</i></li> <li>■ <i>Decorative metal grille work, pot shelf, balcony railing, etc.</i></li> <li>■ <i>Round top arched openings</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.



### 3.3.4. California Ranch

The Ranch architectural style originated in the United States and is generally noted for a long, close-to-the-ground profile, and minimal use of exterior and interior decoration. Ranch combines modernist ideas and styles with the American Western period working ranches to create casual, informal living style.

First built in the 1920s, Ranch was popular with the post-war middle class from the 1940s to 1970s. Mostly built as single story homes, there are two story variations.

Common features include simple and open floor plans, attached garages, large windows and sliding glass doors that open to a patio, large overhang eaves, vaulted ceilings with exposed beams, cross- or side-gabled and hip roofs, and simple, rustic trim. They often incorporate board and batten siding, dovetails, large eaves, and extensive porches.

**Table 3-4: California Ranch Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>3.5:12 to 5:12 roof pitch</b></li> <li>■ <b>Gable or hip roof</b></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Wood, stucco, or plaster</b></li> <li>■ <i>Stone, brick, or other accent materials especially along the front facade at the base and near the entrance</i></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Trim around front and visible windows</b></li> <li>■ <i>Grid patterned</i></li> <li>■ <i>Shutters as accent</i></li> <li>■ <i>Dormer windows</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <i>Front porch or patio</i></li> <li>■ <i>Roll-up style garage door</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.





### 3.3.5. Craftsman

The Craftsman architectural style has influences from the English Arts and Crafts movement of the late 19<sup>th</sup> century and was stylized by California architects such as Bernard Maybeck in Berkeley and Greene brothers in Pasadena. Craftsman combines hip and gable roof forms with wide, livable porches, and broad overhanging eaves.

Built-in elements define this style with details such as windows and porches treated as furniture. The horizontal nature is often emphasized by exposed rafter tails and knee braces below broad overhanging eaves and rustic texture building materials. Together, these treatments create a natural, warm, and livable home with artful and creative character. Variations and divergences in expression are common, especially between the Northern and Southern California influences.



**Table 3-5: Craftsman Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>Main gable roof</b></li> <li>■ <b>3.5:12 to 5:12 roof pitch</b></li> <li>■ <b>12" to 18" overhangs at rakes</b></li> <li>■ <b>Flat concrete tile or composition asphalt shingles within a minimum warranty of 40 years</b></li> <li>■ <b>Shaped outlookers</b></li> <li>■ <i>Exposed rafter tails</i></li> <li>■ <i>Intersecting gable element</i></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Stucco</b></li> <li>■ <i>Lap or shingle siding with stucco accents</i></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Grid patterned upper half at front and visible windows</b></li> <li>■ <b>Trim around front and visible windows</b></li> <li>■ <b>No shutters</b></li> <li>■ <i>Lap or shingle siding</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <b>Entry porches with heavy, square or tapered columns or posts on piers</b></li> <li>■ <i>Stone accents, particularly at porch piers</i></li> <li>■ <i>Knee braces at outlookers</i></li> <li>■ <i>Garage door with Craftsman style windows</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.



### 3.3.6. Tuscan

The Tuscan style is inspired by the informality of the rural farmhouse and settlement buildings typical in traditional villages in Tuscany. These structures often included traditional square towers and were created with indigenous materials and colors to blend with the surroundings. Landscape is seen as an extension of the living space, so courtyards and gardens were common features.

Tuscan is characterized by low-pitch irregular roof lines which may be punctuated by a tower or campanile. Exterior walls are stucco with stone or adobe accents, often on the front entry.



**Table 3-6: Tuscan Style Criteria**

Elements	Characteristics
Roofs	<ul style="list-style-type: none"> <li>■ <b>Main hip roof with gable ancillary roofs</b></li> <li>■ <b>3.5:12 to 5:12 roof pitch</b></li> <li>■ <b>Tight 12" overhangs at rakes</b></li> <li>■ <b>Tight 18" overhangs at eaves</b></li> <li>■ <b>"S" concrete tile</b></li> <li>■ <i>Secondary shed or gable roofs over 1-story element</i></li> <li>■ <i>Shaped Rafter tails</i></li> <li>■ <i>Clay tile</i></li> </ul>
Walls	<ul style="list-style-type: none"> <li>■ <b>Stucco</b></li> <li>■ <b>Stone or adobe block accent at front elevation</b></li> <li>■ <i>Large expanses of stone or brick veneer from base of wall to roof overhang</i></li> </ul>
Windows	<ul style="list-style-type: none"> <li>■ <b>Grid patterned at front and visible windows</b></li> <li>■ <b>Trim around front and visible windows</b></li> <li>■ <b>Paneled shutters at accent windows</b></li> <li>■ <i>Precast or simulated pre-cast window trim</i></li> <li>■ <i>Recessed windows</i></li> <li>■ <i>Decorative shutter hardware</i></li> </ul>
Details	<ul style="list-style-type: none"> <li>■ <b>Decorative metal elements</b></li> <li>■ <i>Arch or flat soffit arch above entry</i></li> <li>■ <i>Tower elements</i></li> <li>■ <i>Covered entry</i></li> <li>■ <i>Plank or carriage style garage door</i></li> </ul>

Note: Required characteristics are in **bold** and suggested details are in *italics*.



### 3.4. Neighborhood Commercial Design Guidelines

Neighborhood commercial developments within the Specific Plan area should be constructed with a compatible and harmonious quality and style that sets the tone for the overall community. Appropriate site planning and architectural design creates friendly and welcoming commercial destinations to continue the vision established in the residential community, including integrating pedestrian-friendly design.

These residential design guidelines should be referenced in conjunction with Section 3.1: [General Design Guidelines](#).

#### 3.4.1. Guiding Principles

Neighborhood commercial development within the Specific Plan area is designed to:

- Express the highest level of design quality and integrity with variety in design expression.
- Continue the vision of a walkable community by enhancing the pedestrian experience.
- Maximize the visibility and exposure of neighborhood commercial buildings and facades to attract patrons and promote long-term viability.
- Create inviting places and spaces to shop, eat, and play.
- De-emphasize parking as much as possible.



### 3.4.2. Building Orientation

- Neighborhood commercial spaces should be oriented for maximum visibility from streets to attract potential customers and support long-term viability.
- Buildings should be located adjacent to walkways, sidewalks, plazas, and other pedestrian spaces, while maintaining adequate visibility at vehicle driveways for motorists to see pedestrians.
- Windows and entries should face the street or other public space to encourage pedestrian activity.
- Walkways and landscaping shall be designed along buildings without direct street frontage to create a “street scene” where there is no street.
- Massing elements (e.g., tower features) are strongly encouraged to anchor corners or entries.
- Architectural details shall be applied to rear and side facades facing streets and other public spaces to avoid blank walls that could dominate public views.



### 3.4.3. Special Uses and Conditions

#### Small-scale Retail Establishments (less than 5,000 sf.)

- Transparent storefront windows should account for approximately 50 percent of the facade length for each business.
- Seating, plazas, landscaping, and other design elements should be provided to serve as gathering areas and to add to the pedestrian experience.

#### Restaurants

- Location and design should create or take advantage of gathering areas.
- Outdoor seating areas with tables, chairs, umbrellas, potted plants, trellises and other design features are strongly encouraged.
- Outdoor seating areas shall be located and designed to be publicly visible.
- Franchise or chain restaurants shall be designed to reflect the overall architectural style and character of the building or commercial area.
- Standardized architecture (e.g., franchise or chain architecture) shall only be permitted if the architectural style and design meet the requirements of [Section 3.1: General Design Guidelines](#) and [Section 3.4: Commercial Design Guidelines](#).

#### Drive-through and Drive-up Uses

- The design of drive-up or drive-through facilities, whether attached or freestanding, shall reflect the architectural style and character of the building or commercial area, including colors, materials, and architectural design elements.
- The location and orientation of such facilities shall not detract from the building aesthetic, but shall be located to minimize view from sidewalks, walkways, and other public views.

- Sufficient aisle lengths shall be provided to prevent interference with street traffic and onsite circulation routes.
- Outdoor ordering systems shall be located to direct sound away from residential uses and common areas, or otherwise minimize noise impacts to these uses.

#### Convenience Stores

- When located on a corner, access from adjacent sites or side streets is encouraged to ease congestion along major streets.
- Freestanding buildings shall be designed with complementary architectural style and character of adjacent commercial uses.
- Subdued colors and materials are required to promote a harmonious appearance with the surrounding area. Bright accent colors used to express corporate logos shall be used on a limited basis and shall not be internally illuminated except as permitted for a sign.
- If used, screening walls shall be constructed of materials consistent with the colors and materials of the primary building. Landscaping shall be incorporated into the design of screening walls.

#### Assisted Living

- Create a proper scale and character that avoids an “institutional” environment.
- Provide convenient drop-off / pick-space at primary building entrance.
- Incorporate considerable landscaping, particularly in parking lots to promote pleasant views from inside the building(s).
- Incorporate pathways and seat areas into the site design.

### 3.5. Amenity Center and Resort Hotel

The amenity center will be a local landmark and will serve as the hub of activity for residents. It will be a place where they can socialize, recreate, and relax. This center will span two adjacent parcels and include a main building and outdoor uses.

The main building will be 17,500 to 25,000 square feet and host a number of facilities including a multi-purpose room for community events (e.g., dances), a fitness center, a craft room, locker rooms, and administrative spaces. A separate covered swimming pool will be constructed adjacent to the main building.

Outdoor uses will include a separate outdoor swimming pool, tennis courts, pickle ball courts and bocce courts, both with benches and shade structures. Outdoor barbeque and eating spaces will also be constructed.

Located on a hill overlooking the golf course, the resort hotel will provide guests with views of the hillsides, Fremont Peak State Park and the agricultural valley landscape. The hotel will be welcoming and should blend into the landscape.

The hotel may be designed as a single building or with a main building and separated “casitas” or smaller buildings with rooms.

The resort hotel may include a restaurant, gift shop, and other similar uses for the convenience of guests.

The following guidelines shall apply to both the amenity center and the resort hotel, unless otherwise noted.



### 3.5.1. Architecture and Massing

- The design of the main building shall be designed as a variation of the Monterey or Spanish Eclectic architectural styles (as described in Section 3.3: Residential Architectural Styles) and to emphasize combining indoor and outdoor spaces.
- The main building may include a central tower or other prominent vertical architectural feature to establish a focal point and enhance this building as an iconic community landmark.
- Due to the proximity to smaller-scale residential dwelling units, the massing of the main building should include a high level of articulation, which will break up the overall mass and eliminate uninterrupted surfaces, roof forms, materials, and colors.
- Use of shade and shadow should be a critical element to the main building design. This may be accomplished through recessed walls, overlapping building masses, deep overhangs, breezeways, and other similar features.
- Materials, colors, and architectural details shall be appropriate to the architectural style and context. In general, use of stone, brick, wood, and plaster/stucco are encouraged along with an earth tone color palette (generally creams and browns) for painted surfaces. Terra cotta or concrete reproduction barrel or shake tile roofing is encouraged.





### 3.5.2. Site Design

- Patterned concrete or paver hardscape is encouraged for outdoor gathering areas and walkways between the main building and other onsite uses. Use of exterior breezeways, trellises, large canopy trees, and other shade structures should be used to provide pedestrian comfort.
- Site design, orientation, and architecture shall consider solar access, wind protection, shade, and seasonal weather for indoor and outdoor spaces.



### 3.5.3. Amenity Center

- Accommodations for local use vehicle circulation and convenient parking spaces shall be incorporated into the design of the parking lot.
- Clear, direct, and convenient pedestrian connections shall be included between entrances to the main building, outdoor recreation and gathering areas, parking areas, sidewalks.
- Uniform or complimentary exterior lighting shall be used throughout the amenity center. Tennis court lighting may be set to regulation height, but shall be shielded to eliminate glare and spillover to surrounding residential properties.

### 3.5.4. Resort Hotel

- Site design, orientation, and architecture shall consider solar access, wind protection, shade, and seasonal weather for indoor and outdoor spaces.
- Accommodations for local use vehicle circulation and convenient parking spaces should be incorporated into the design of the parking lot.
- Pedestrian connections should be included between entrances to the main building, casitas, and parking areas. A walkway or sidewalk connecting to San Juan Oaks Drive should be provided.
- Uniform or complimentary exterior lighting should be used throughout the resort hotel, including casitas. Special consideration should be made to prevent spillover to adjacent areas or to provide excessive exterior illumination.
- Parking should be located to the side and rear of the main building and broken into smaller areas. Parking spaces adjacent to the casitas should be broken up into smaller areas and parking for the main building should be screened from views from the adjacent buildings and areas.



### 3.6. Mobility and Parking

#### 3.6.1. Neighborhood Circulation

- Circulation patterns, lot layouts, open space and common area locations, building placement and orientation, paving materials, and landscaping shall be used to provide a hierarchy of physical and visual neighborhood organizational elements while establishing continuity.
- Meaningful, walkable destinations and pedestrian nodes shall be created within neighborhoods to redefine the role of the street as a pedestrian social space.
- Direct pedestrian connections should be provided to minimize walking distances to key locations including parks, the amenity center, neighborhood commercial, and golf course and clubhouse facilities.



### 3.6.2. Vehicle Circulation

- Curb cuts are breaks or openings in the curb for the purpose of allowing vehicular access between streets and developed areas. An efficient, walkable, and enjoyable pedestrian environment should be enhanced by minimizing curb cuts, which damage walkability.
- The number of driveways should be limited. Shared use driveways are strongly encouraged in non-residential areas to provide sufficient vehicular access while minimizing impacts to the pedestrian and bicycle realms. Access from one property to another is encouraged to minimize trips onto adjacent streets.

### 3.6.3. Parking Lots

- Parking lots should be screened from streets with berms, landscaping, walls, and/or other features compatible with the overall design concept, where feasible.
- Parking areas that are behind or to the side of buildings are strongly encouraged.
- Larger parking areas should be broken up and dispersed throughout the site to break up large expanses of parking areas.
- Measures to manage and appropriately maintain stormwater are encouraged within parking lots through use of bioswales, permeable surfaces, landscaping, and other best practices. Stormwater is generally managed on a project-wide basis, so localized treatment features may not be necessary.
- Trees shall be planted within parking areas and should generally be spaced every 10 parking spaces, or more frequently. Trees with larger canopies are strongly encouraged to provide shade to parked vehicles and reduce the heat island effect. Tree species selected should have minimal impacts to adjacent paved surfaces for safety and to reduce ongoing maintenance. Planters should be a minimum of 6 feet in size.

- As a means of providing a source of energy production and to shade parked vehicles, parking lots may include carport-style solar panel covering.
- Parking space reductions may be allowed for compact spaces consistent with County standards.



### 3.6.4. Pedestrian Circulation

- Pedestrian access, public spaces, and buildings shall be designed to accommodate people of all ages and abilities through consultation with appropriate County staff and the Americans with Disabilities Act (ADA).
- Walkways should be provided along natural paths of travel to connect between buildings, sidewalks, parking areas, and common areas.
- Trellises, landscaping, sitting areas, and building orientation should enhance the pedestrian experience and encourage pedestrian activity. Pedestrian walkways are encouraged within parking lot medians to provide an efficient pedestrian path.
- All pedestrian activity areas shall have adequate lighting.
- Paving and landscaping should distinguish and unify walkways, common open spaces, and other activity areas.
- Shaded courtyards, plazas, arcades, and paseos are encouraged within, between, or around buildings.
- Gathering spaces should be located where high levels of pedestrian activity are anticipated, such as adjacent to major entrances and uses that would encourage outdoor activity.
- Clear, direct, and efficient pedestrian connections between commercial and residential areas are strongly.
- Pedestrian crossing areas shall be enhanced with striping, paving, bollards, bulb-outs, or other design features that notify motorist of potential pedestrian activities. When parking is provided behind buildings, pedestrian plazas or walkways shall connect to rear parking areas.
- Well designed and human-scaled pedestrian corridors and spaces that create meaningful gathering spaces and allow for increased connectivity are strongly encouraged.



### 3.6.5. Bicycle Circulation

- Bicycle racks are strongly encouraged on all properties within the amenity center, resort hotel, neighborhood commercial, parks, and golf course and clubhouse.
- Bicycle racks shall be placed in visible locations to discourage theft. Bicycle racks shall be tamper resistant and anchored to the ground. Bicycle racks should be placed between the sidewalk and building entrance (adjacent to a pedestrian walkway) or within a designated area of a gathering space or parking lot (adjacent to a pedestrian walkway).
- Adequate spacing shall be provided between multiple bicycle racks so bicycles can be easily placed and removed from the racks. In general, a two foot clearance should be maintained around bicycle racks to allow users to access and secure bicycles from the sides.
- Bicycle storage lockers may also be provided for longer term and more secure bicycle storage.



### 3.6.6. Local Use Vehicle Circulation

- Accommodations for local use vehicle circulation should be made within parking lots for the amenity center, neighborhood commercial, golf course and clubhouse, and resort hotel. Convenient parking spaces should be created within these parking lots to further incentivize use of local use vehicles over automobiles.
- Charging stations for local use vehicles and electric cars are/will be provided within parking lots for the amenity center, neighborhood commercial center, golf course and clubhouse, and resort hotel.



### 3.6.7. Transit Circulation

- Direct pedestrian connections between the bus pullout(s) and adjacent uses shall be created. This may be accomplished through the adjacent sidewalk and additional walkways.

### 3.7. Signage

For purposes of this Specific Plan, the existing San Benito County Sign Regulations (San Benito County Code, Title 25 (Zoning Ordinance), Chapter 25.29 (General Requirements), Article III) shall apply. However, specific building signage design guidelines have been provided to augment these regulations. In the event of conflict between the County Code and the following guidelines, the guidelines shall prevail.

This section applies to the Amenity Center (AC), Resort Hotel (RH), Neighborhood Commercial (NC), and Golf Course & Clubhouse (GC) land use districts.

#### 3.7.1. General Signage Guidelines

- Signs should be oriented to the pedestrian, even if also designed for vehicles.
- Lettering styles shall be proportioned, simple, and easy to read.
- No portion of the sign (including support materials) shall project above the cornice, parapet, or roof eave unless it is integral to the building architecture, such as a uniquely designed theater marquee.
- Signs shall not cover windows, architectural elements, or architectural details.
- Businesses in alleys, courtyards, or plazas should be identified from the street.
- Signs shall be durable, weatherproof, well-designed, and act as unique expressions of the business or building. Mounting hardware shall be an attractive and integral part of the sign design, or be hidden behind the sign.
- Street addresses shall be prominently displayed at the main entrance to every business and be clearly visible from the street.
- Signs may use symbols, characters, or graphics that relate to the product sold or to the name of the business. In general, three dimensional signs are encouraged.

- In addition to the sign requirements in the zoning ordinance, a master sign program shall be required for buildings with more than three tenants or sites with more than one building (excluding accessory structures). This program should require that each tenant sign has an appropriate and compatible size, location, shape, orientation, and scale. The number of signs should be in proportion to the length of the property. All signs on a property shall share common design elements, such as:

- Materials
- Size
- Shape
- Lighting technique
- Placement
- Alignment
- Method of attachment

### 3.7.2. Sign Material and Color

- Sign materials shall complement the overall architectural character of buildings on the property and be constructed out of high quality materials, such as acrylic, aluminum, and weather resistant wood and composite materials.
- Sign materials shall be durable, weatherproof, and treated or painted so that they will not discolor, rust, fade, crack, or corrode.
- Sign materials shall make a positive contribution to the legibility of the sign. Glossy finishes that cause glare and reflections are discouraged.
- Sign colors shall complement the colors of adjacent buildings on the site.
- The color of the sign frame and letters should generally contrast the background of the sign or wall to maximize legibility. Light letters on a dark background or dark letters on a light background are most legible.
- The color scheme should be limited to maintain visual balance. Colors or color combinations that interfere with legibility of the sign copy or that interfere with viewer identification of other signs shall be avoided.



### 3.7.3. Sign Lighting

- Unless otherwise noted, appropriate types of illumination include:
  - External lighting that is directed on the sign face or provided from an on- or off-site light pole.
  - Backlighting of individually mounted letters and sign symbols.
  - Internal illumination of box signs that illuminate just the letters, logos, or symbols of the sign, but not the sign background. Internally illuminated box signs that illuminate the entire sign (letters, symbols, logos, and background) are discouraged.
- Sign lighting level shall not overpower the facade or nearby signs. The light source shall be angled toward the sign and should be shielded from pedestrian view.
- LED or other low energy use lighting sources shall be used for sign lighting.



### 3.7.4. Temporary Signs

- All temporary signs shall conform to the size and display period standards as required in the Sign Regulations in the San Benito County Code.
- Signs designed or intended for temporary use shall not be displayed on a permanent basis. Temporary signs should not interfere with permanent signs and should retain similar color schemes and style as existing signs.
- Materials shall be sturdy and able to withstand rain, wind, and sun for the duration of use. Temporary window signs should not take over more than 25 percent of the window space.



### 3.7.5. Appropriate Sign Types

#### Awning/Marquee Signs

Awning/marquee signs are signs that are printed on, painted on, or otherwise attached to an awning or marquee above an entry or window. These signs are generally used along building facades that are adjacent to a sidewalk or walkway.

- Signs shall only be placed on the front face (the skirt or valance) of awnings, but may be placed on any face of marquees.
- Lettering should not exceed 8 inches in height and symbols or logos should not exceed 12 inches in height. The overall width of the sign (text, symbols, and logos) shall not exceed 80 percent of the awning or marquee width.
- If illuminated, signs shall be externally illuminated and directed at the sign, not the entire awning or marquee. Marquees on theaters and other unique uses, which may be internally illuminated.
- Replaceable valences are encouraged to avoid the need to replace awnings or paint out previous tenant signs when a new tenant moves in.



### Directional and Wayfinding Signs

Directional signs are small freestanding signs that provide direction to pedestrians and vehicles entering or navigating through the site.

- Directional signs are strongly encouraged along internal driveways and pedestrian walkways, and where a site has multiple businesses, buildings, or functions. Directional signage is encouraged when the site has multiple businesses or functions (e.g., to direct service trucks to loading/unloading areas and customers to appropriate parking areas).
- Directional signage shall be simple and include a simple directional arrow and the name of the area, business, or the user to be alerted.
- Directional signs shall have a similar design and theme as all of the signs on the site. However, these signs should be smaller in terms of scale and height related to other types of freestanding or monument signs.
- Directional signs shall be illuminated by external lighting fixtures or with internal lighting that only illuminates text and arrows.
- All traffic and pedestrian signs shall be approved by the County Planning or Public Works Director.



### Wall Signs

- Wall signs are vehicle- and pedestrian-oriented signs that are mounted flat on the facade of a building.
- Wall signs shall not project more than 12 inches from the facade and should not exceed 24 inches in height.
- If multiple wall signs are used along a facade, the cumulative width of signs should not exceed 50 percent of the facade width.
- Building facades shall be designed with specific areas dedicated for wall signs. The location, placement, and size of wall signs should create a consistent pattern of signs on the facade. In general, wall signs should be placed above the building entrances and below the roofline.
- Wall signs shall not be placed in random locations along a facade nor should they be placed over building details, cornices, molding, windows, or other prominent building features.
- Wall signs should be positioned within architectural features such as the panels above storefronts, on the transom, or flanking doorways.
- Wall signs may be illuminated by external lighting fixtures, with back-lighting behind individually cut letters and symbols, or by internally illuminating individually cut sign letters and symbols. Internally illuminated box or can signs are strongly discouraged. Instead, internally illuminated signs (where appropriate) should be individually cut around lettering and symbols.



### Monument Signs

Monument signs are signs that are located within the front setback (generally between the sidewalk and building) and are attached to a freestanding structure supported by one or more uprights, braces, columns, poles, or other similar structural components placed on or into the ground.

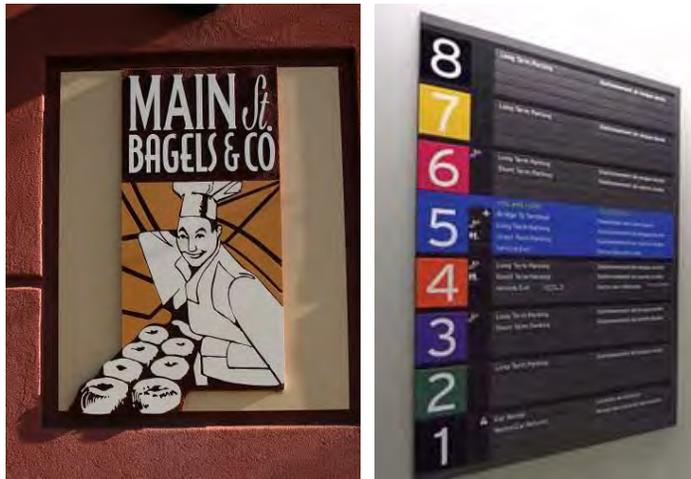
- Monument signs near vehicular entrances should be oriented perpendicular to the street. No more than one sign is encouraged per vehicular entrance. If the vehicular entrance is for more than one business, multiple businesses may be identified on the sign face.
- Monument signs shall not cause line-of-sight issues with driveways or intersections. Monument signs should be located at least 10 feet from driveway entrances.
- Monument signs should be scaled for use by pedestrians and drivers. In general, horizontal monument signs up to 3.5 feet in height are preferred; however, narrower vertical signs may be appropriate up to 8 feet in height for major entries and multi-tenant commercial centers.
- Landscaping, especially evergreen and flowering plants, is strongly encouraged around the base of the monument sign to highlight and define the base while screening support structures. Landscaping provided should equal at least twice the sign face surface area.
- Monument signs shall be constructed of high-quality, durable materials. Materials, finished, and colors should complement the architectural style and character of the buildings and other onsite signs.
- Internal illumination is prohibited on monument signs. Illumination from external lighting fixtures or back-lighting behind individually mounded letters and symbols is encouraged.



### Plaque Signs

Plaque signs are signs that are attached to flat against a building facade, generally at the eye level of pedestrians, and are often used to identify individual businesses or unit, to provide a directory of multiple businesses or units, or to display menus.

- Plaque signs should not exceed a surface area of 6 square feet and should not project more than 2 inches from the wall face.
- Only one individual business or unit sign should be provided for each business or unit.
- Directory signs should be located near common building entrances. Only one directory sign should be provided on a facade.
- Menu displays are strongly encouraged for restaurants and should generally be located near entrances.
- Plaque signs shall be illuminated by external lighting fixtures. Menu displays may include internal illumination.



### Projecting Signs

Projecting signs are double-sided signs that project perpendicular to the building facade and hang from a mounted wall brace on the facade or from a roof overhang, such as an arcade. Projecting signs are primarily oriented towards pedestrians.

- Wall-mounted projecting signs shall not extend more than 3 feet from the facade. Signs hanging from a roof overhang should generally be centered with the overhang. The total sign area should not exceed 10 square feet.
- A minimum vertical clearance of 8 feet (as measured from the bottom of the lowest part of the sign to the adjacent ground surface) shall be maintained over sidewalks, walkways, and common areas.
- Projecting signs should generally be located near entrances, below second floor windows. No portion of the sign should extend above the roof line.
- Only one projecting sign should be allowed per tenant.
- Projecting signs shall be illuminated by external lighting fixtures.



### Window Signs

Window signs are those signs located within a window/storefront of a business and are oriented toward the adjacent sidewalk or walkway.

- Window signs shall not occupy more than 25 percent of the window.
- Permanent window signs should be created with permanent, fade-resistant paint, decals, gold-leaf, or etching.
- Window signs may also hand on the inside of the window. Mounting hardware and equipment should be concealed.
- The location, size, and shape of window signs should add to a storefront display, not detract from views into the business.
- Window signs may be illuminated from external light sources or from lighting within the storefront. Internally illuminated window signs should be limited to “open” signs.



# 4

## **CIRCULATION AND STREETScape DESIGN**

This chapter describes the circulation and streetscape design including the roadway hierarchy and proposed mobility plans for pedestrians, bicyclists, local use vehicle (e.g., golf cart) drivers, and transit riders.



Residents of active adult communities generally drive less than those in conventional neighborhoods. Most of these residents are retired and do not make daily commutes to work. Additionally, since no minors live in these communities, no daily trips to school or recreational activities are required. Many of the daily trips made by active adult residents remain within the community and may be taken outside of an automobile by way of walking, bicycling, or using local use vehicles (e.g., golf carts, neighborhood electric vehicles). It is estimated that the active adult portion of the Specific Plan area will produce approximately one-third the automobile traffic of conventional single family residential projects.

The San Juan Oaks residential area would not be designed as an active adult community, and therefore automobile traffic generations are assumed to be compatible with other conventional single family residential projects.

The circulation system within the Specific Plan area is designed as a comprehensive road network designed to provide a full range of effective and proven techniques to promote non-automobile and non-gas dependent transportation for the efficient movement of people. Streets are designed for multiple modes of transportation, including walking, bicycling, or driving a local use vehicle or automobile. Connections are designed between and throughout the residential, commercial, and natural areas. While not described or illustrated in this Specific Plan, the Applicant or subsequent developer may elect to incorporate gated entryways to either the active adult community or a portion(s) of the market-rate housing.

#### 4.1. Circulation and Streetscape Design Goals

The following policies apply to the circulation and apply to the project:

- Design an efficient multi-modal circulation system
- Provide direct, convenient, and efficient pedestrian, bicycle, and local use vehicle routes to all uses
- Furnish an aesthetic environment for public circulation
- Strive to maintain a LOS C and in no cases will any onsite operations be less than LOS D
- Minimize impact on regional air quality
- Facilitate proven alternatives to automobile transportation
- Accommodate future public transit services
- Comply with the Americans with Disabilities Act (ADA)

#### 4.2. Pedestrian Network

The Specific Plan emphasizes pedestrian circulation by providing an interconnected network of sidewalks along internal streets and a series of trails. Pedestrian connections will be provided throughout residential neighborhoods and to parks, the Amenity Center, golf course and clubhouse, resort hotel, and neighborhood commercial areas. Sidewalks will be a minimum of four feet in width. Pedestrian connections will be provided between residential areas and will connect to the golf course, resort hotel, and areas within the permanent wildlife habitat.

Figure 4-1: [Pedestrian Circulation Network](#) identifies the proposed sidewalks and other pedestrian connections within the Specific Plan area. [Chapter 3: Design Guidelines](#) addresses onsite pedestrian circulation.

#### 4.3. Bicycle Network

Bicycle circulation is integrated throughout the Specific Plan area through on-street bike lanes and separated off-street bike or multi-use paths. Where bike lanes are not provided (such as along neighborhood streets), bicyclists and slower-moving vehicles would share the road. These streets generally have less automobile traffic, reducing the need for dedicated bike lanes. Bike lanes will be a minimum of five feet in width and multi-use paths will be a minimum of ten feet in width.

Figure 4-2: [Bicycle Circulation Network](#) identifies proposed bike lanes and bike paths within the Specific Plan area. [Chapter 3: Design Guidelines](#) addresses onsite bicycle circulation and parking.

Figure 4-1: Pedestrian Circulation Network

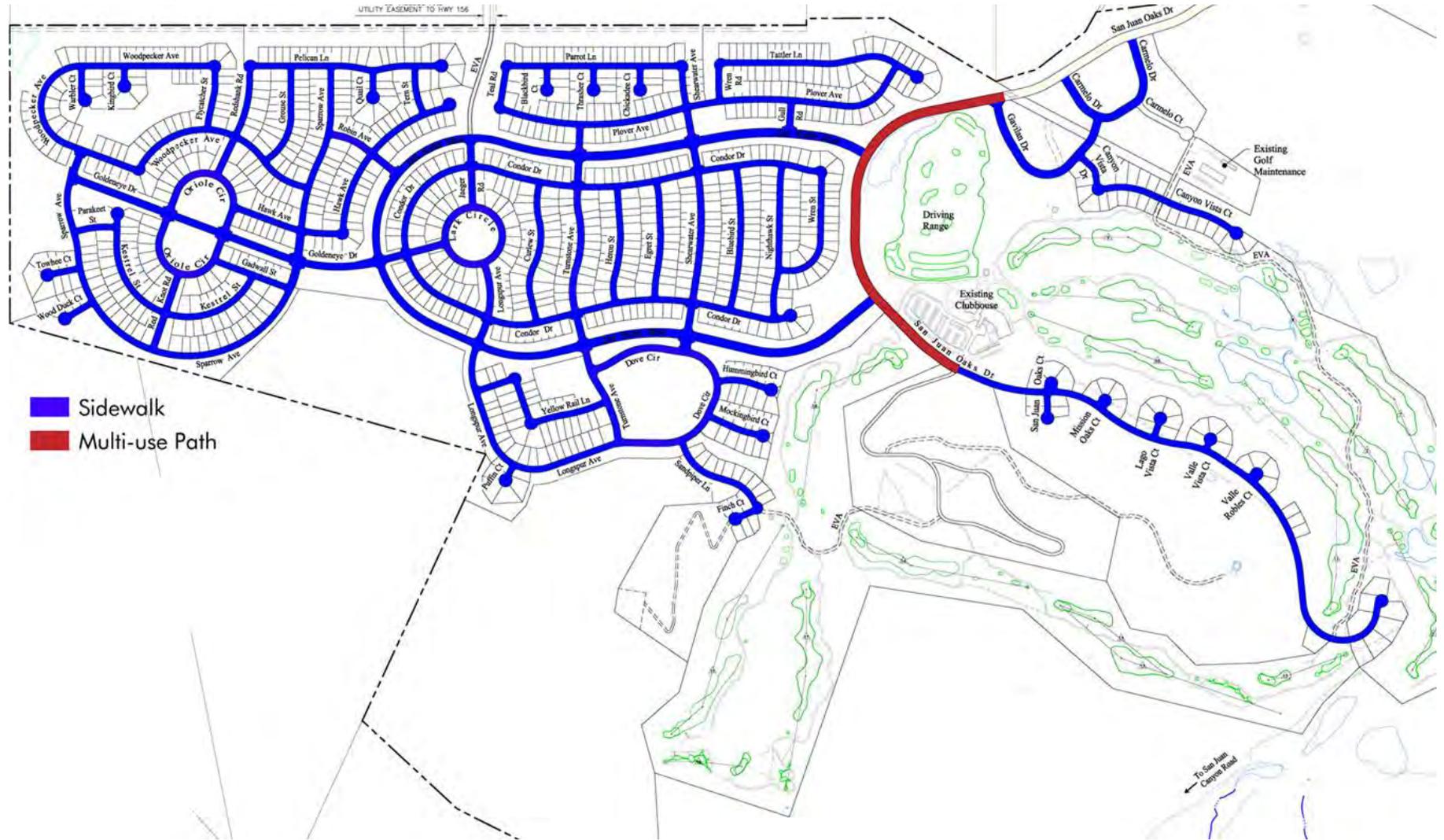
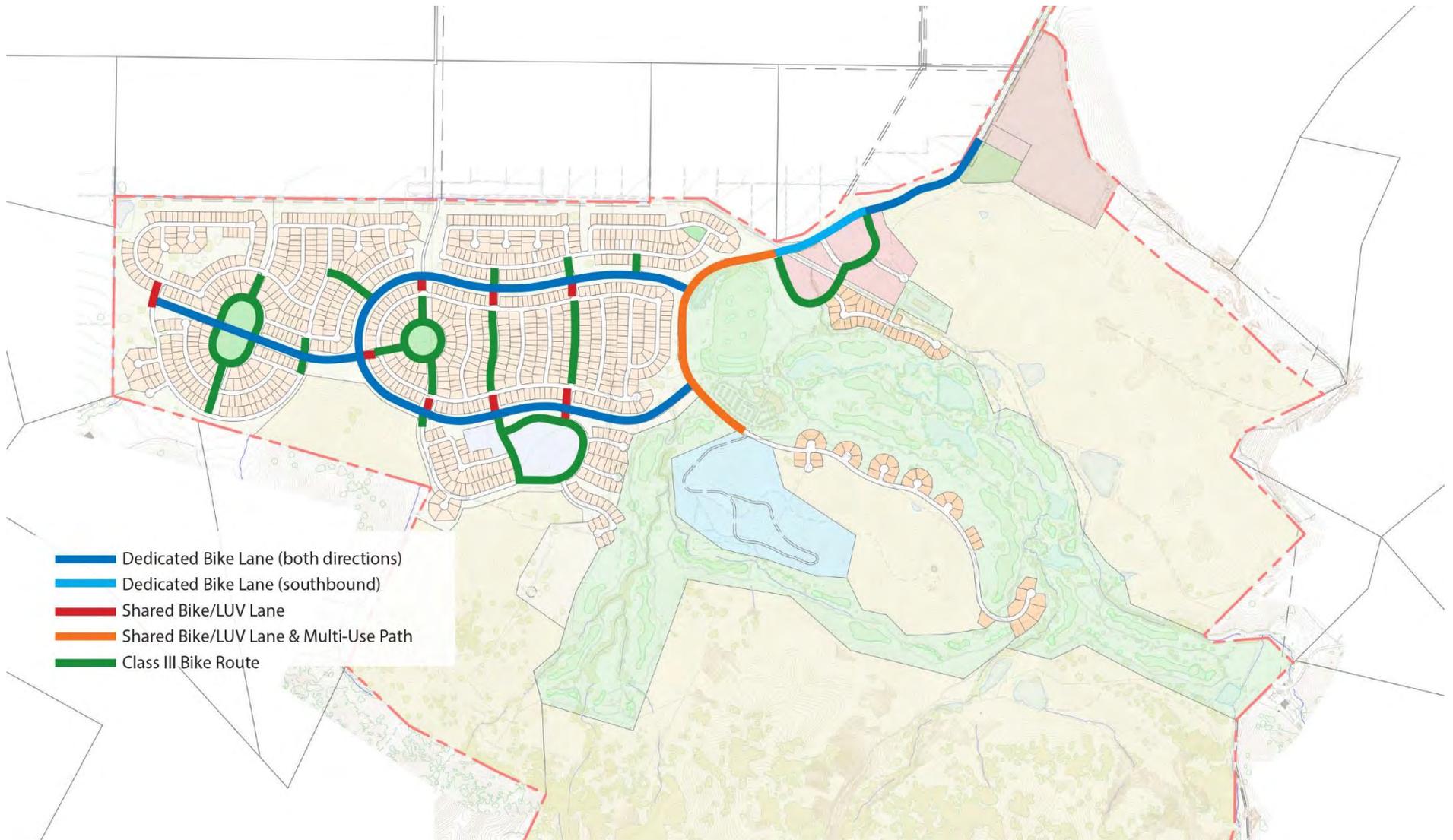


Figure 4-2: Bicycle Circulation Network



#### 4.4. Local Use Vehicle Network

Local use vehicles (LUVs) (e.g., golf carts, neighborhood electric vehicles) are a popular form of transportation within active adult and golf course adjacent communities. In existing adult communities, these vehicles have become a significant mode of transportation that serves the daily needs of residents and reduces the number of automobile trips.

LUVs and automobiles can efficiently mix on local/residential streets which have lower speeds and overall traffic volumes. Therefore, local use vehicles would be permitted within the travel lanes on all neighborhood streets within the Specific Plan area, to the extent permitted by state law.<sup>2</sup> Additionally, striped lanes for local use vehicles would be included on collector and divided collector streets, which would accommodate greater traffic volumes and vehicular speeds.

Figure 4-3: Local Use Vehicle Circulation Network identifies the proposed circulation for LUVs within the Specific Plan area. Section 4.5: Street Network and Hierarchy include proposed cross sections for streets within the Specific Plan area. Chapter 3: Design Guidelines addresses onsite LUV circulation.

#### 4.5. Transit Network

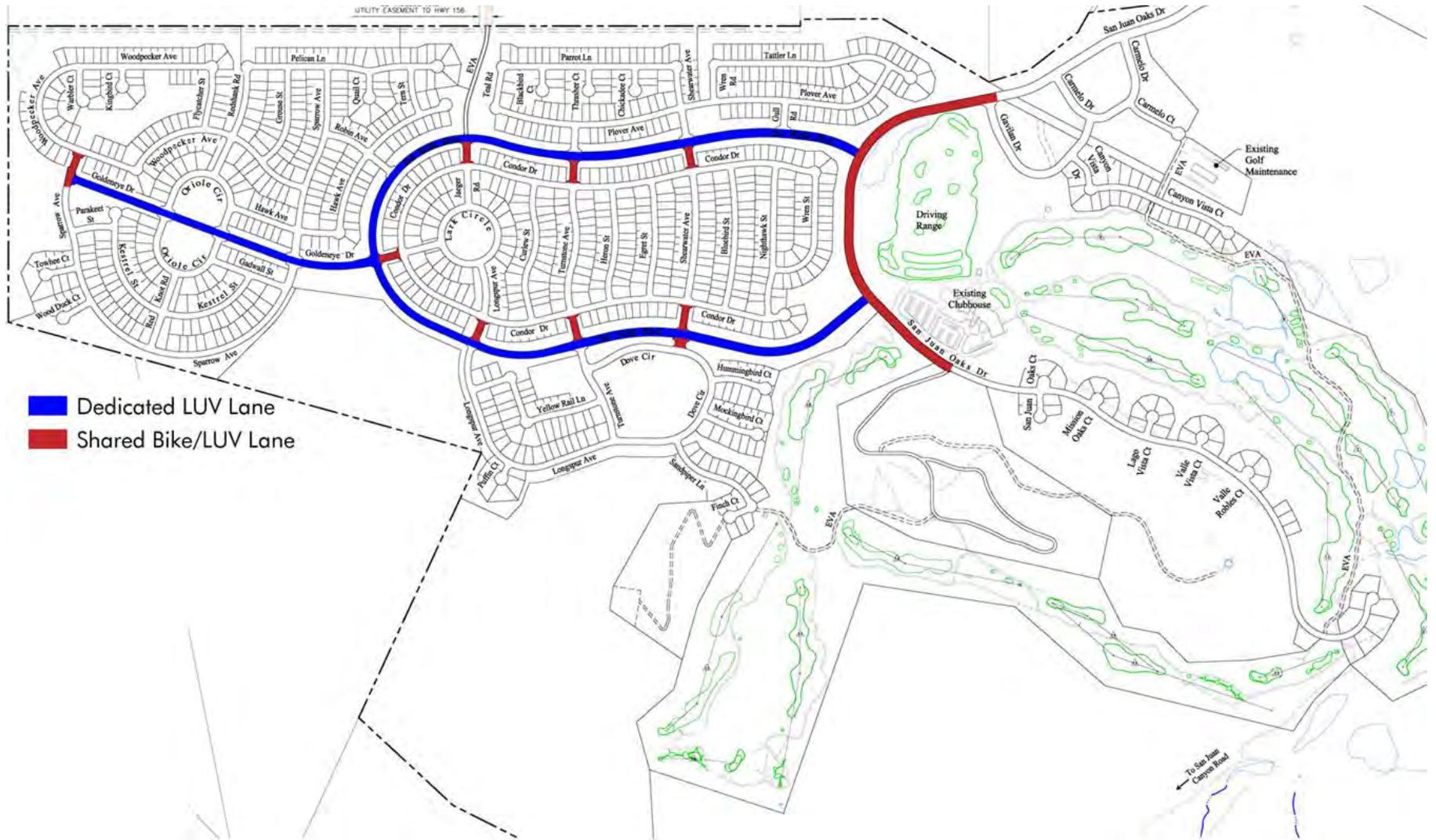
At least one bus stop with bus shelter shall be provided along San Juan Oaks Drive near the center of the developable portion of the Specific Plan area. The exact location will be identified in coordination with San Benito County Express. It is anticipated that two stops with shelters will be provided along San Juan Oaks drive: one near the southern intersection with Del Webb Boulevard (serving the active adult community, amenity

center, golf course and clubhouse, and resort hotel); and another near the neighborhood commercial area. Bus turnaround shall be taken into consideration, likely near or within the golf course/clubhouse or resort hotel parking lot. An onsite bulletin board shall be provided for the purposes of posting bus schedules, park-and-ride facility locations, and notices of availability for alternative transportation services (e.g., airport shuttle). This bulletin board shall be located in a commonly accessed location, such as within the activity center.

---

<sup>2</sup> According to California Vehicle Code 21716, golf carts have the same rights on the roads as all other vehicles, except they are restricted from driving on public roadways with posted speed limits greater than 25 mph.

Figure 4-3: Local Use Vehicle Circulation Network



### 4.6. Street Network and Hierarchy

The Specific Plan area is accessed by San Juan Oaks Drive, which connects to Union Road and State Route 156. Both Union Road and State Route 156 are two lane rural roadways with no curb, gutter, or sidewalk. A widening project for State Route 156 is under development and would result in a four lane cross section between San Juan Bautista and Hollister. San Juan Oaks Drive and a proposed Del Webb Boulevard would serve as the primary internal streets. [Figure 4-4: Proposed Street Network](#) identifies the proposed street network for the Specific Plan area. The following sections identify each of these streets.

#### 4.6.1. San Juan Oaks Drive

San Juan Oaks Drive is the main road into the Specific Plan area and currently provides access to existing development. The current cross section includes two travel lanes with no curb, gutter, or sidewalk. There are three proposed cross sections for the existing portions of San Juan Drive. The extension of San Juan Drive will be treated as a neighborhood street (see [Section 4.6.3: Neighborhood Streets](#)).

#### San Juan Oaks Drive Type 1

From Union Road to the existing bridge near Gavilan Drive, this cross section generally reflects the existing configuration of San Juan Oaks Drive, with the addition of four-foot bike lanes on both sides. With a 60-foot right-of-way, this section includes two 12-foot travel lanes, 4-foot bike lanes on both side, and 14-foot landscaped areas on each side. The existing bridge near Gavilan Drive would not be changed. [Figure 4-5a: San Juan Oaks Drive Type 1](#) illustrates the proposed cross section for this street type.

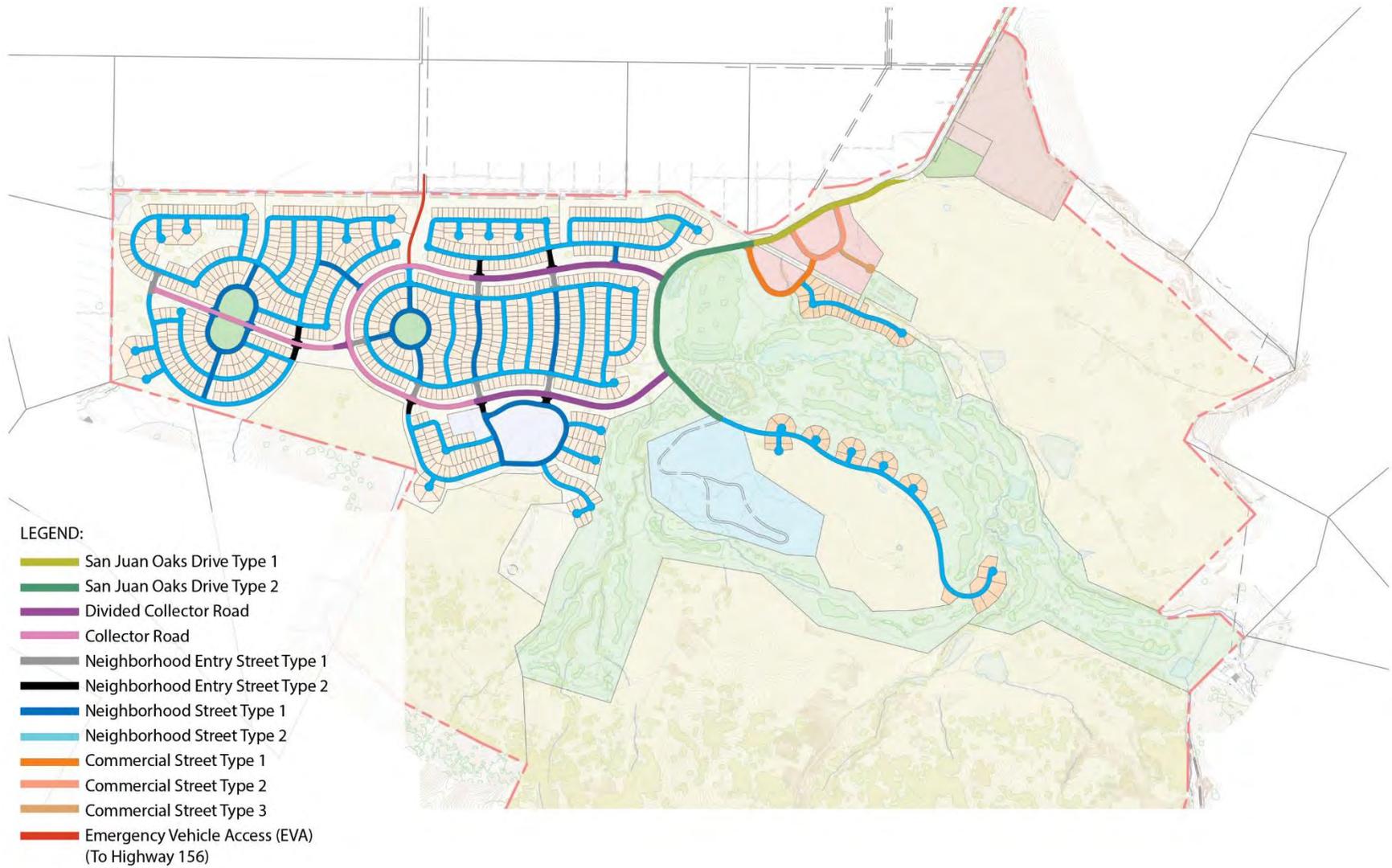
#### San Juan Oaks Drive Type 2

From Gavilan Drive to the existing golf course and clubhouse driveway, this cross section generally reflects the existing configuration of San Juan Oaks Drive, with the addition of a multi-use path along the west side and the addition of a shared bike/LUV lane on each side. With a 60-foot right-of-way, this section includes two 10-foot travel lanes, 7-foot bike/LUV lanes, a 10-foot multi-use path with 3-foot landscaping on the west side, and 13-foot landscaped area on the east side. [Figure 4-5b:](#)

[San Juan Oaks Drive Type 2](#) illustrates the proposed cross section for this street type.



**Figure 4-4: Proposed Street Network**



**NOTES:**

1. Street names are preliminary and subject to change
2. See Sheet 3 of the Vesting Tentative Map for street sections

Figure 4-5a: San Juan Oaks Drive Type 1

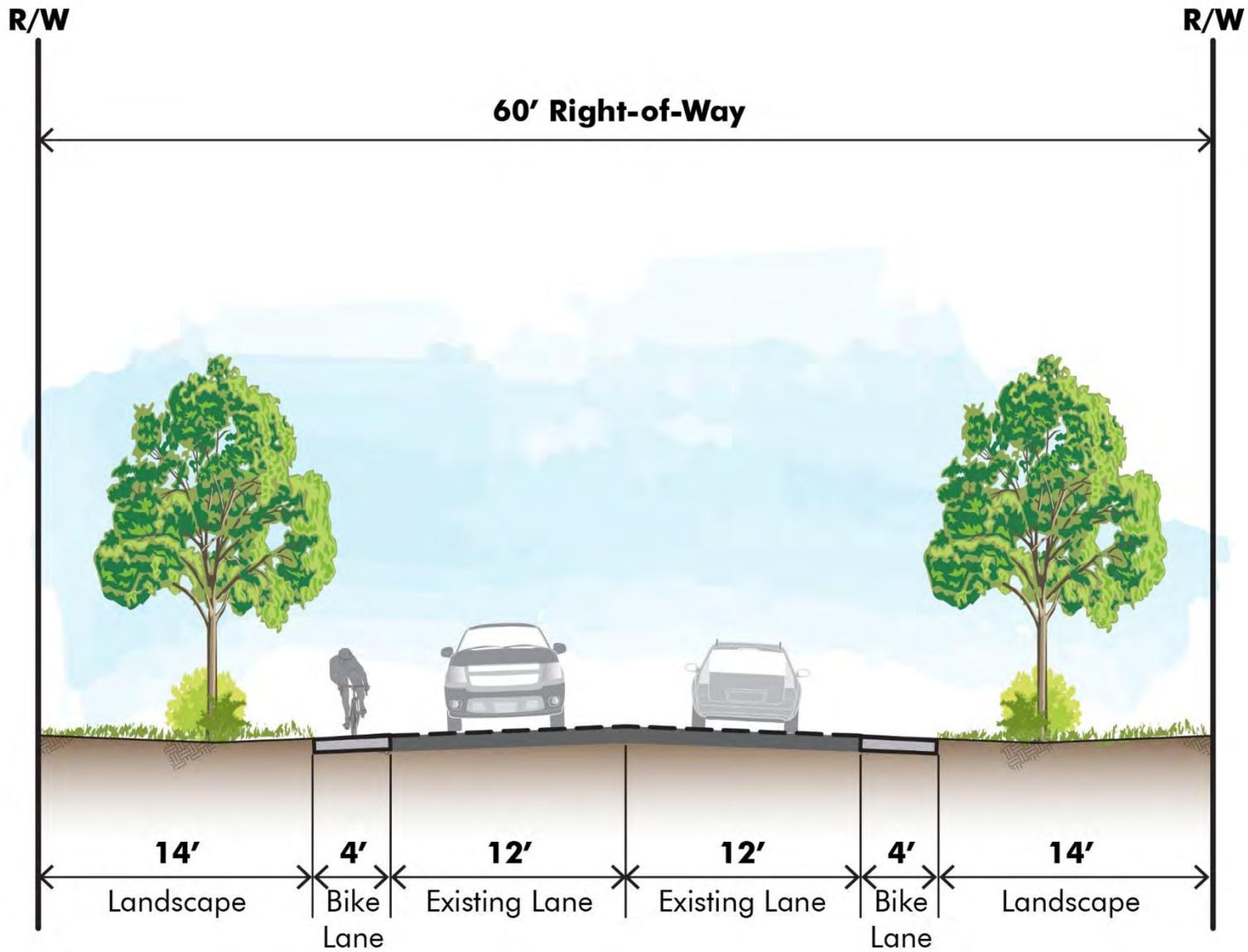
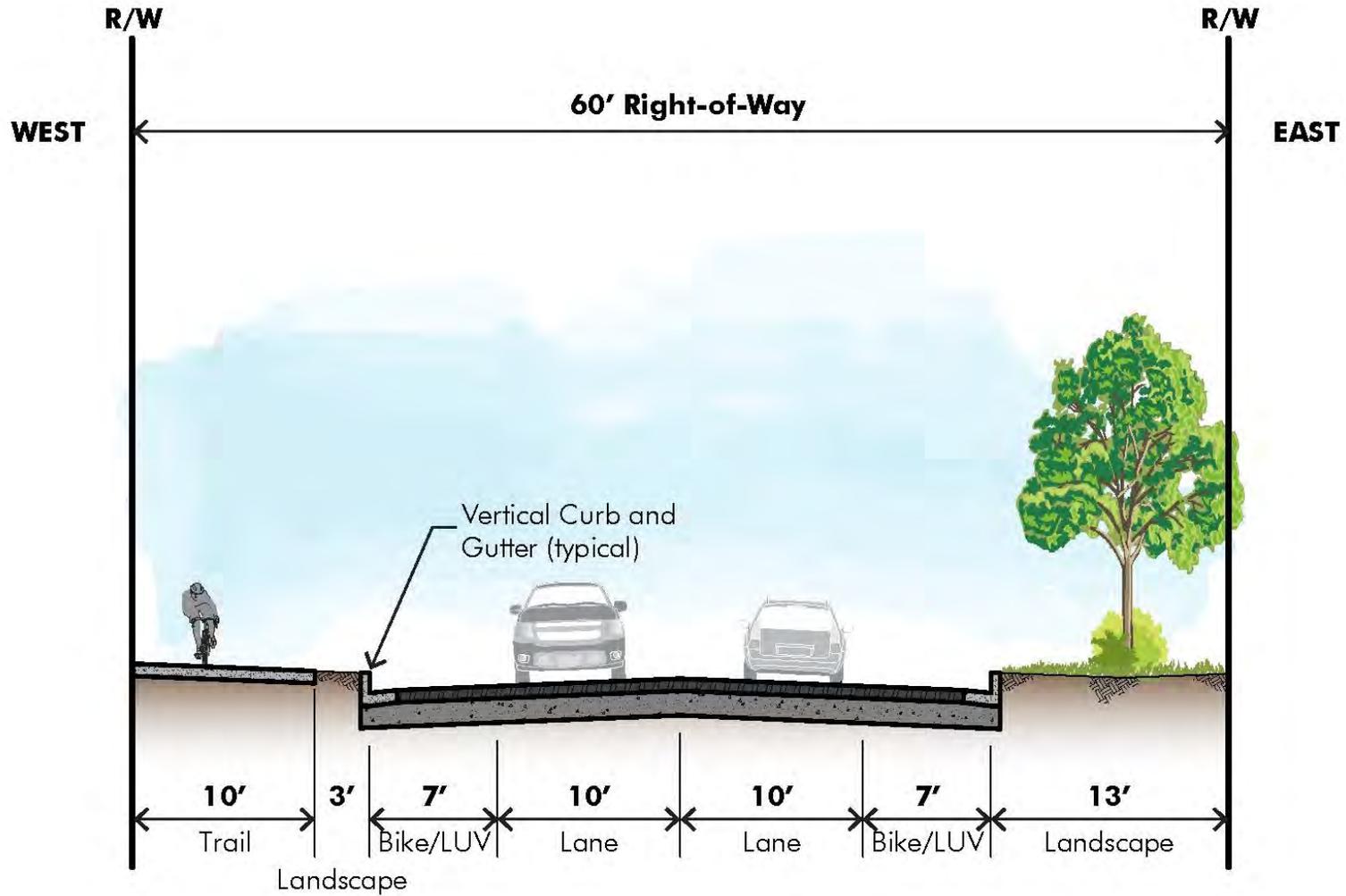


Figure 4-5b: San Juan Oaks Drive Type 2



### 4.6.2. Collector Roads

Collector roads are intended to serve as the backbone internal streets that connect to the various neighborhoods within the Specific Plan area. There are two collector road street types proposed.

#### Divided Collector Road

Along Del Webb Boulevard (north and south) from San Juan Oaks Drive to Turnstone Avenue, this cross section creates a grand entry statement for those entering the active-adult community component of the Specific Plan area. With a 58-foot right-of-way, this section includes a 12-foot median with an 11-foot travel lane, 7-foot LUV lane, and 5-foot bike lane on each side. In addition, a variable width landscape corridor (40 to 70 feet typical) would be provided on each side with a 6-foot meandering sidewalk with landscaped areas on each side, and a sound wall where applicable. [Figure 4-6a: Divided Collector Road](#) illustrates the proposed cross section for this street type.

#### Collector Road

Along Del Webb Boulevard (north and south) from Turnstone Avenue to Goldeneye Drive, and along Goldeneye Drive, this cross section will continue where the divided collector road ends through the remainder of the active-adult community component of the Specific Plan area. With a 48-foot right-of-way, this section includes two 11-foot travel lanes with a 7-foot LUV lane and 6-foot bike lane on each side. In addition, a variable width landscape corridor (40 to 70 feet typical) would be provided on each side with a 6-foot meandering sidewalk with landscaped areas on each side, and a sound wall where applicable. [Figure 4-6b: Collector Road](#) illustrates the proposed cross section for this street type.



Figure 4-6a: Divided Collector Road

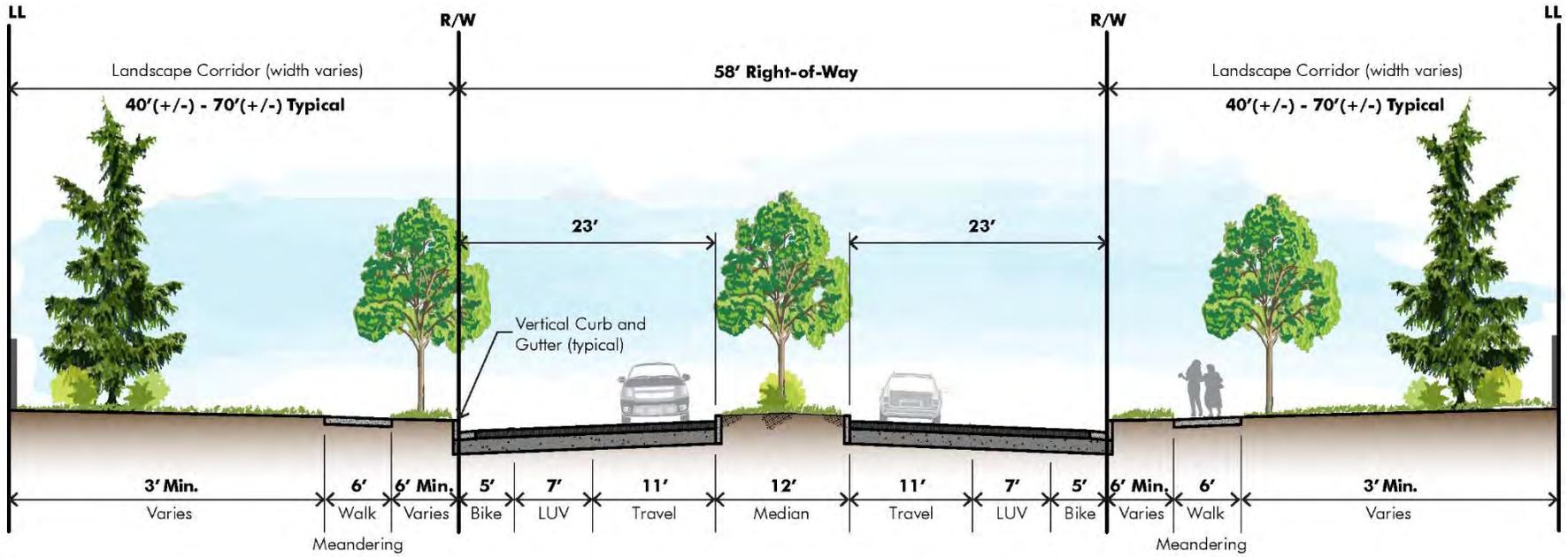
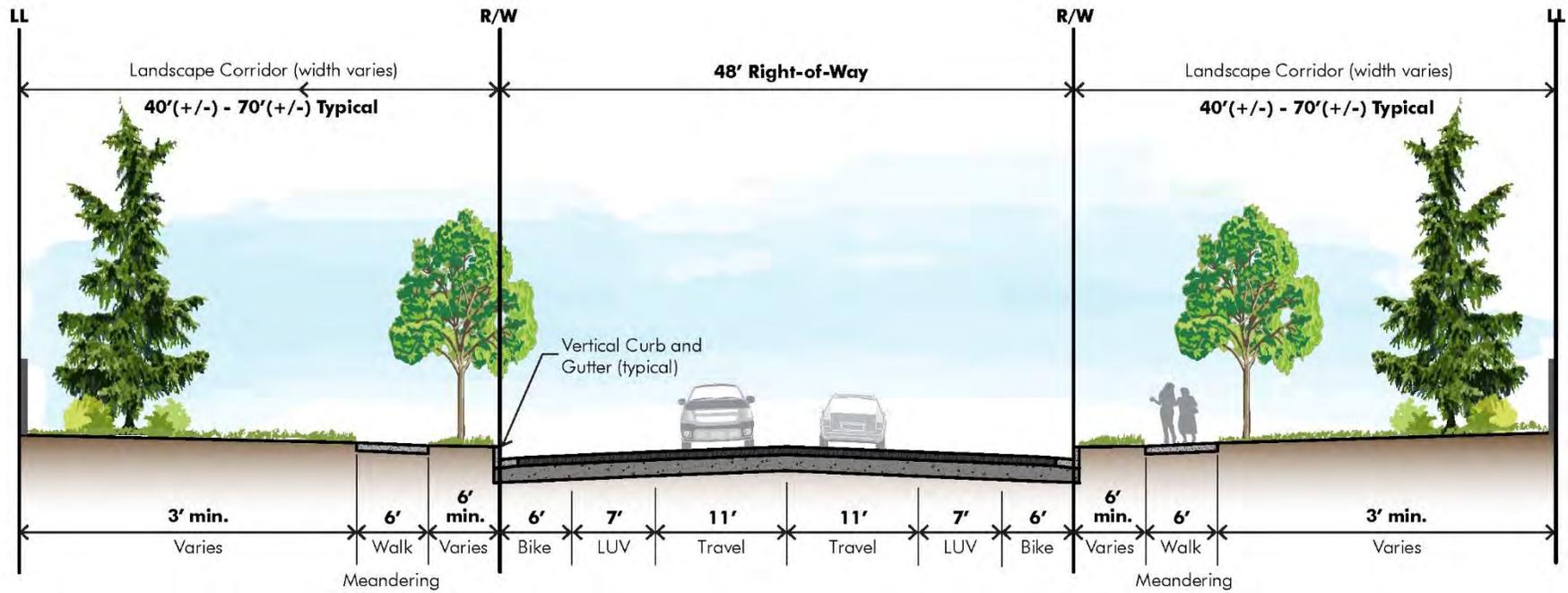


Figure 4-6b: Collector Road



### 4.6.3. Neighborhood Streets

Neighborhood streets connect collector roads to the various neighborhoods. These streets are generally narrow and have slower speeds than other streets due to driveways, parking, and short blocks. Where other streets may have separate lanes or paths for different roadway users (i.e., automobiles, LUVs, and bicycles), neighborhood streets often allow these users to share the same space given the slow speeds and lower traffic volumes. There is one neighborhood entry street type and two neighborhood street types proposed.

#### Neighborhood Entry Street Type 1

Connecting from Del Webb Boulevard at various locations to neighborhood streets, this cross section creates a sense of arrival for those entering the neighborhoods within the active-adult community component of the Specific Plan area. With a 48-foot right-of-way, this section includes a 12-foot median with an 11-foot travel lane and 7-foot bike/LUV lane on each side. In addition, a variable width landscape corridor (20 feet typical) would be provided on each side with a 6-foot meandering sidewalk with landscaped areas on each side, and a sound wall where applicable. [Figure 4-7a: Neighborhood Entry Street Type 1](#) illustrates the proposed cross section for this street type.

#### Neighborhood Entry Street Type 2

Depending on the residential lot configuration, the entries from Del Webb Boulevard to the neighborhood streets will be narrowed. In these circumstances, the right-of-way will vary between 48 to 56 feet and will include two 18-foot travel/bike/LUV lanes separated by a 10-foot median and 5-foot sidewalks on the out edge. [Figure 4-7b: Neighborhood Entry Street Type 2](#) illustrates the proposed cross section for this street type.

#### Neighborhood Street Type 1

This cross section is generally applied around parks, the amenity center, and along through streets within neighborhoods in the active-adult community component of the Specific Plan area. With a 48-foot right-of-way, this section includes two 19-foot travel lanes (which will accommodate on-street parking) and 5-foot sidewalks with rolled curbs

on each side. [Figure 4-8a: Neighborhood Street Type 1](#) illustrates the proposed cross section for this street type.

#### Neighborhood Street Type 2

This cross section is general applied throughout the neighborhoods. With a 44-foot right-of-way, this section includes two 17-foot travel lanes (which will accommodate on-street parking) and 5-foot sidewalks with rolled curbs on each side. [Figure 4-8b: Neighborhood Street Type 2](#) illustrates the proposed cross section for this street type.

Figure 4-7a: Neighborhood Entry Street – Type 1

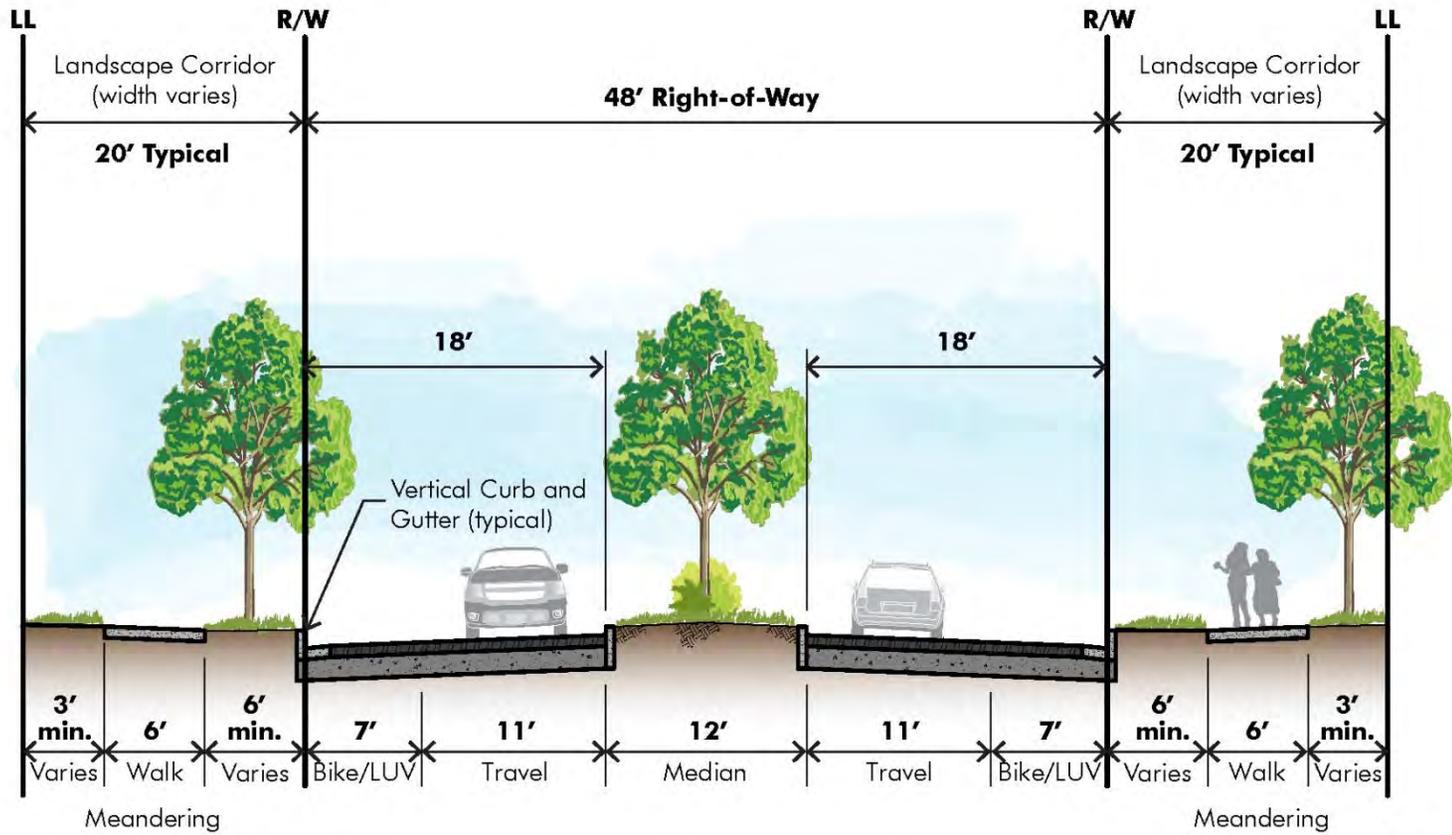


Figure 4-7b: Neighborhood Entry Street – Type 2

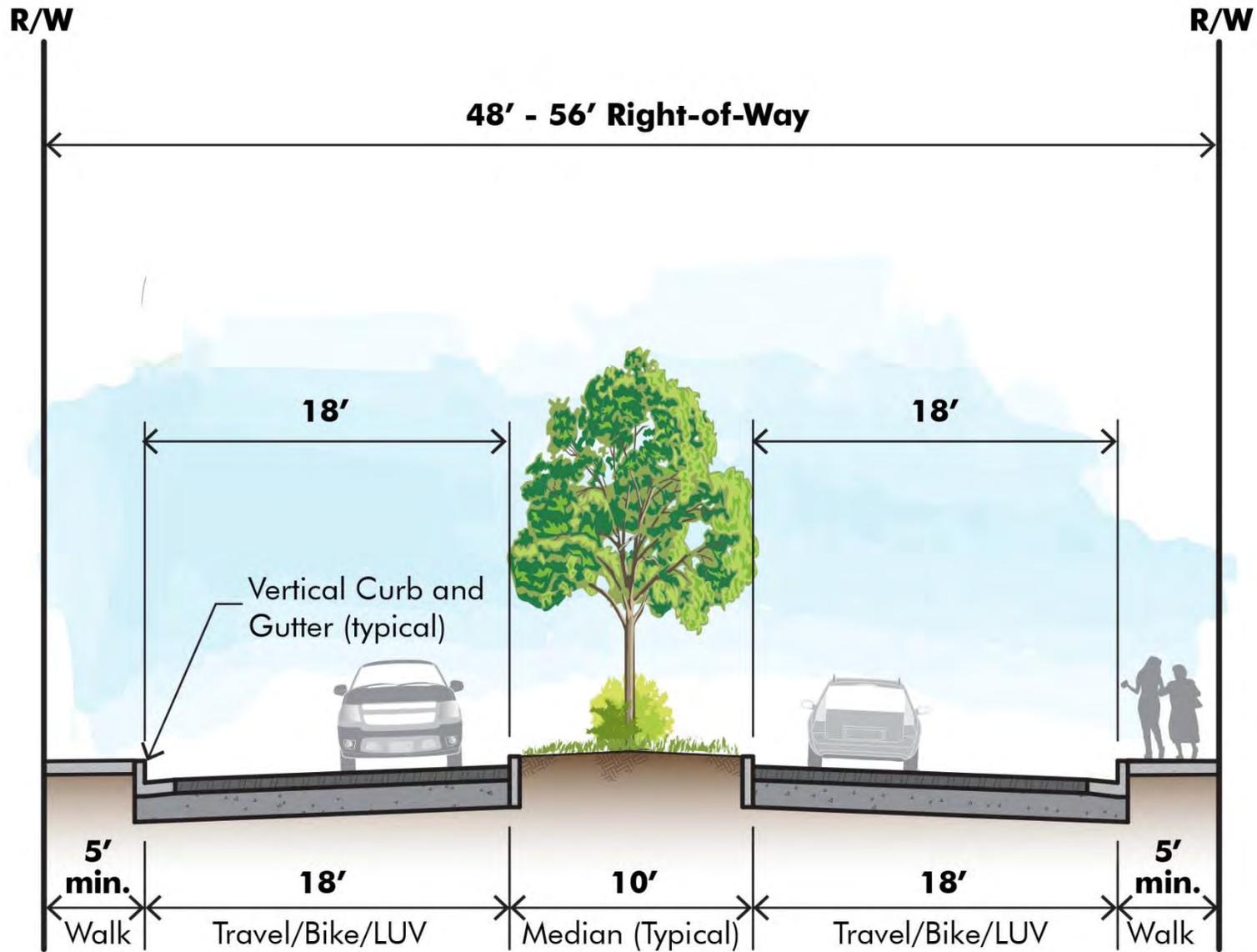
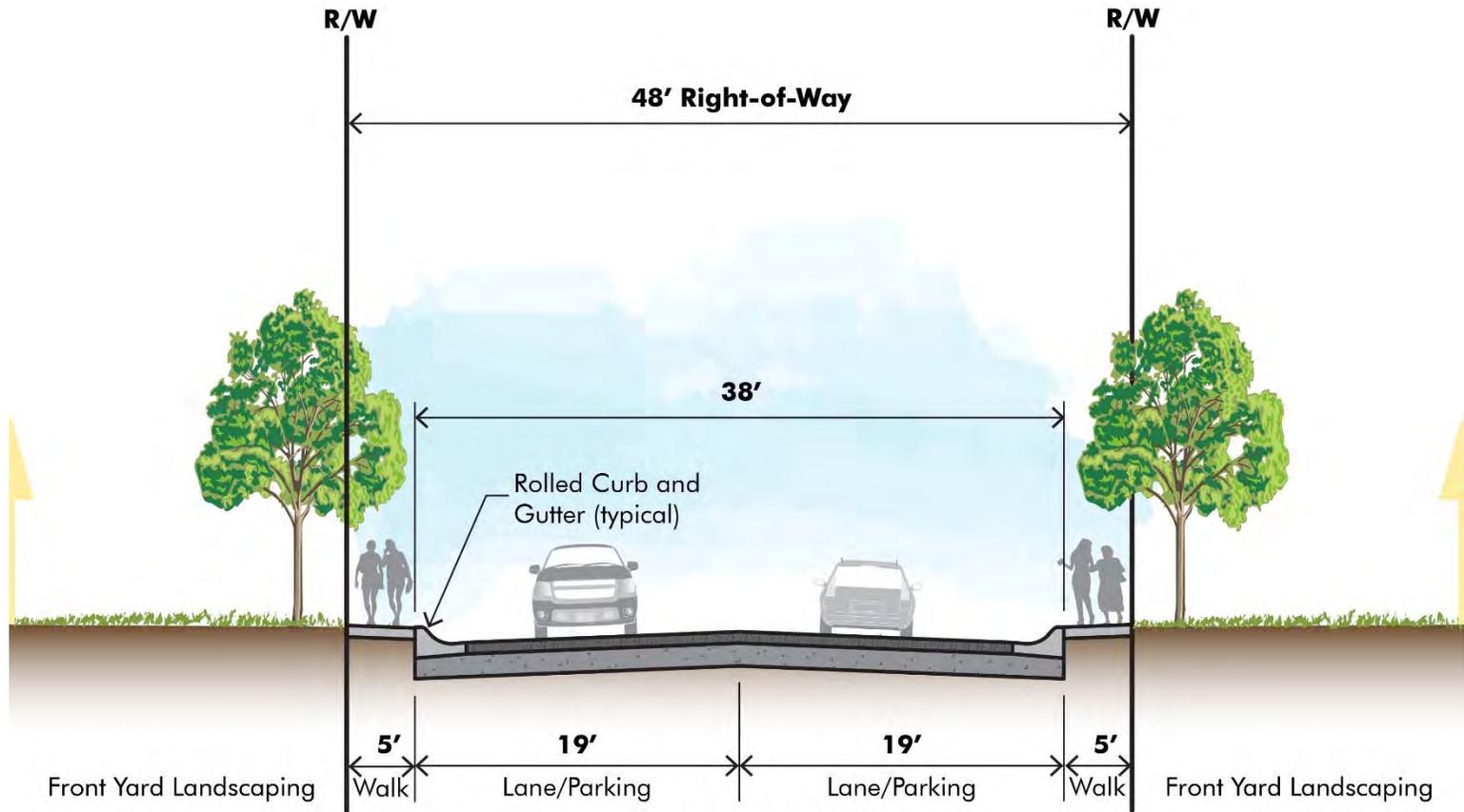
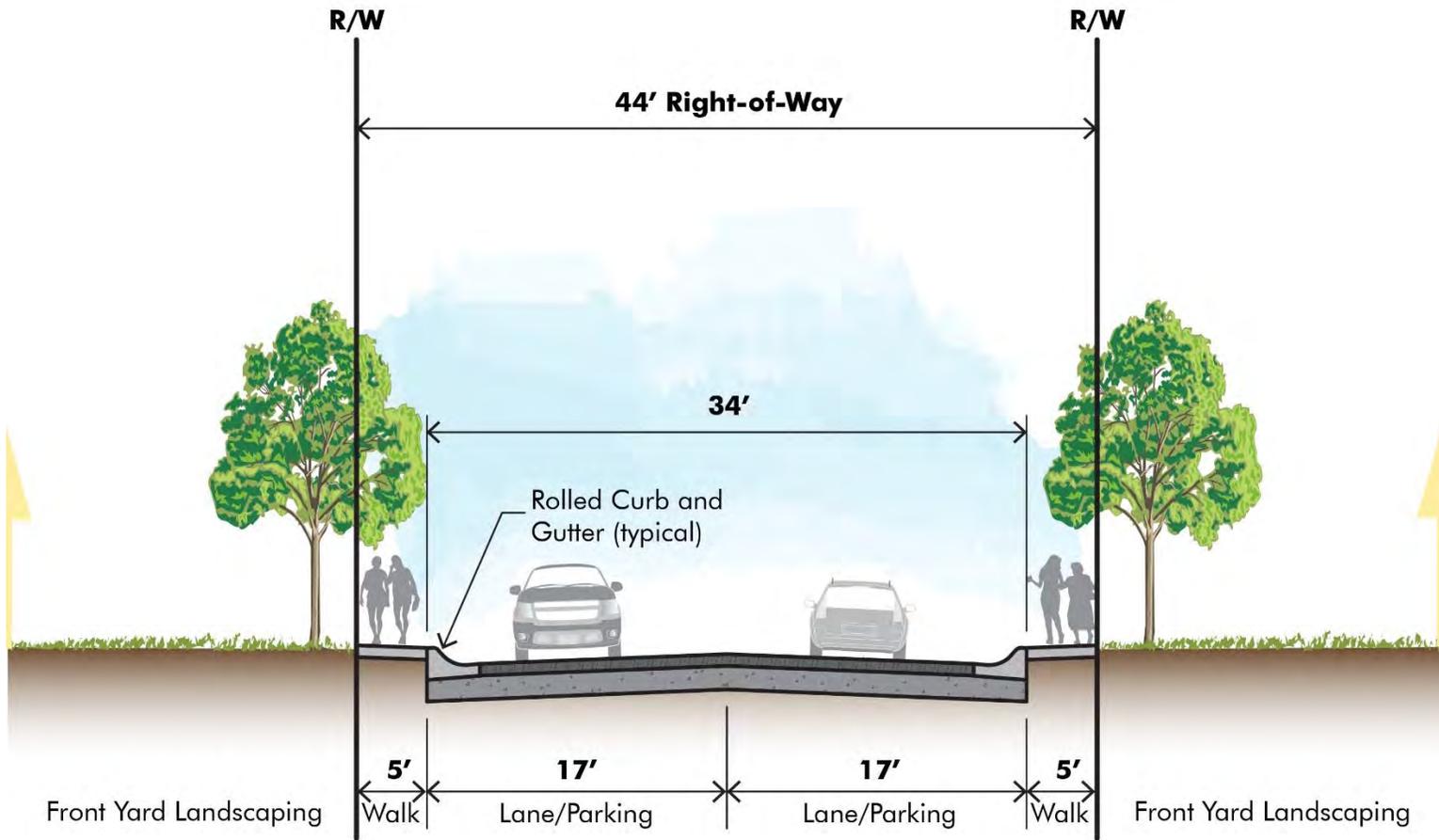


Figure 4-8a: Neighborhood Street Type 1



Note: Includes Class III Bike Route

Figure 4-8a: Neighborhood Street Type 2



#### 4.6.4. Commercial Streets

Commercial streets connect collector roads to commercial areas within the Specific Plan area. These streets are generally narrow and have slower speeds than other streets due to driveways, parking, and short blocks. Where other streets may have separate lanes or paths for different roadway users (i.e., automobiles, local use vehicles, and bicycles), neighborhood streets often allow these users to share the same space given the slow speeds and lower traffic volumes. There are two commercial streets proposed.

##### Commercial Street Type 1

This cross section is applied to Gavilan Drive from San Juan Oaks Drive to the channel bridge. With a 54-foot right-of-way, this section includes a 10-foot turn lane (provided at driveways and intersections), two 12-foot travel lanes with a 6-foot sidewalk separated by 4-foot landscaped areas on the north side, and 10-foot landscaped area on the south side. [Figure 4-9a: Commercial Street Type 1](#) illustrates the proposed cross section for this street type.

##### Commercial Street Type 1 at Bridge

This cross section is applied only to the portion of Gavilan Drive at the channel bridge. With a 54-foot right of way, this section includes two 12-foot travel lanes with a 6-foot sidewalk on the north side, and a 2-foot barrier buffer on each side. The remaining 13 feet on the south side and 7 feet on the north side will remain open to the channel below. [Figure 4-9b: Commercial Street Type 1 at Bridge](#) illustrates the proposed cross section for this street type.

##### Commercial Street Type 2

This cross section is applied to most of the commercial area, excluding the portion connecting to the existing golf maintenance facility and Gavilan Drive from San Juan Oaks to the east end of the channel bridge. With a 54-foot right-of-way, this section includes a 10-foot turn lane (provided at driveways and intersections), two 12-foot travel lanes, and a 6-foot sidewalk separated by 4-foot landscaped areas on each side. [Figure 4-9c: Commercial Street Type 2](#) illustrates the proposed cross section for this street type.

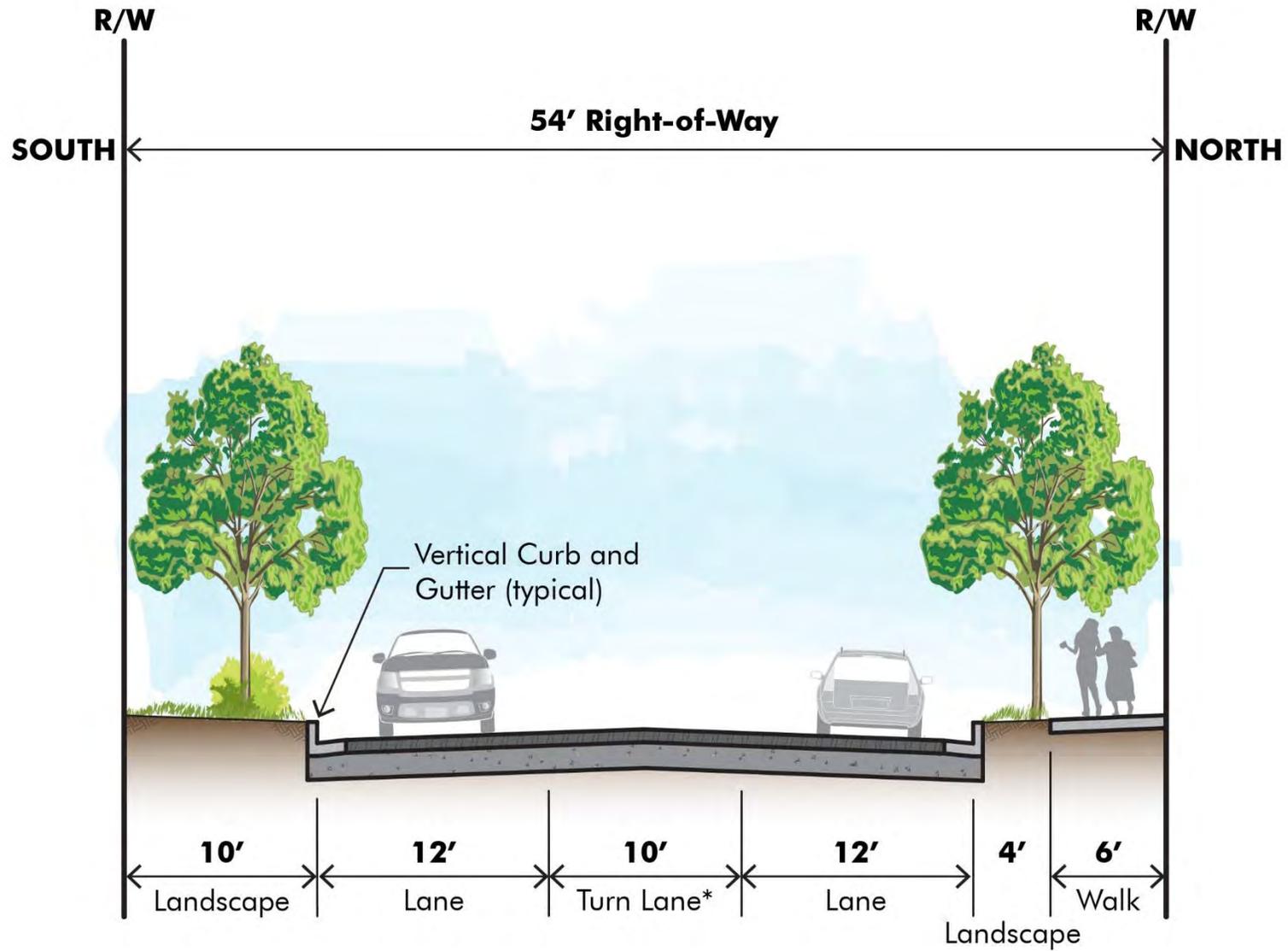
##### Commercial Street Type 3

This cross section is applied to the portion connecting to the existing golf maintenance facility and will be designed as a cul-de-sac. With a 38-foot right-of-way, this section includes two 13-foot travel lanes with 6-foot sidewalks on each side. [Figure 4-9d: Commercial Street Type 3](#) illustrates the proposed cross section for this street type.

#### 4.6.5. Emergency Vehicle Access

An emergency vehicle access (EVA) is proposed to connect from Del Webb Boulevard to State Route 156 to facilitate official vehicles during times of emergency or when San Juan Oaks Drive is not accessible. With a 60- to 85-foot wide easement, this section includes a 20-foot two-way travel lane with 3-foot shoulder on each side. The EVA would be approximately one mile in length from Del Webb Boulevard to State Route 156. [Figure 4-10: Emergency Vehicle Access](#) illustrates the proposed cross section for this street type.

Figure 4-9a: Commercial Street Type 1



\* Provided at driveway locations and intersections to facilitate turning movements.

Figure 4-9b: Commercial Street Type 1 at Bridge

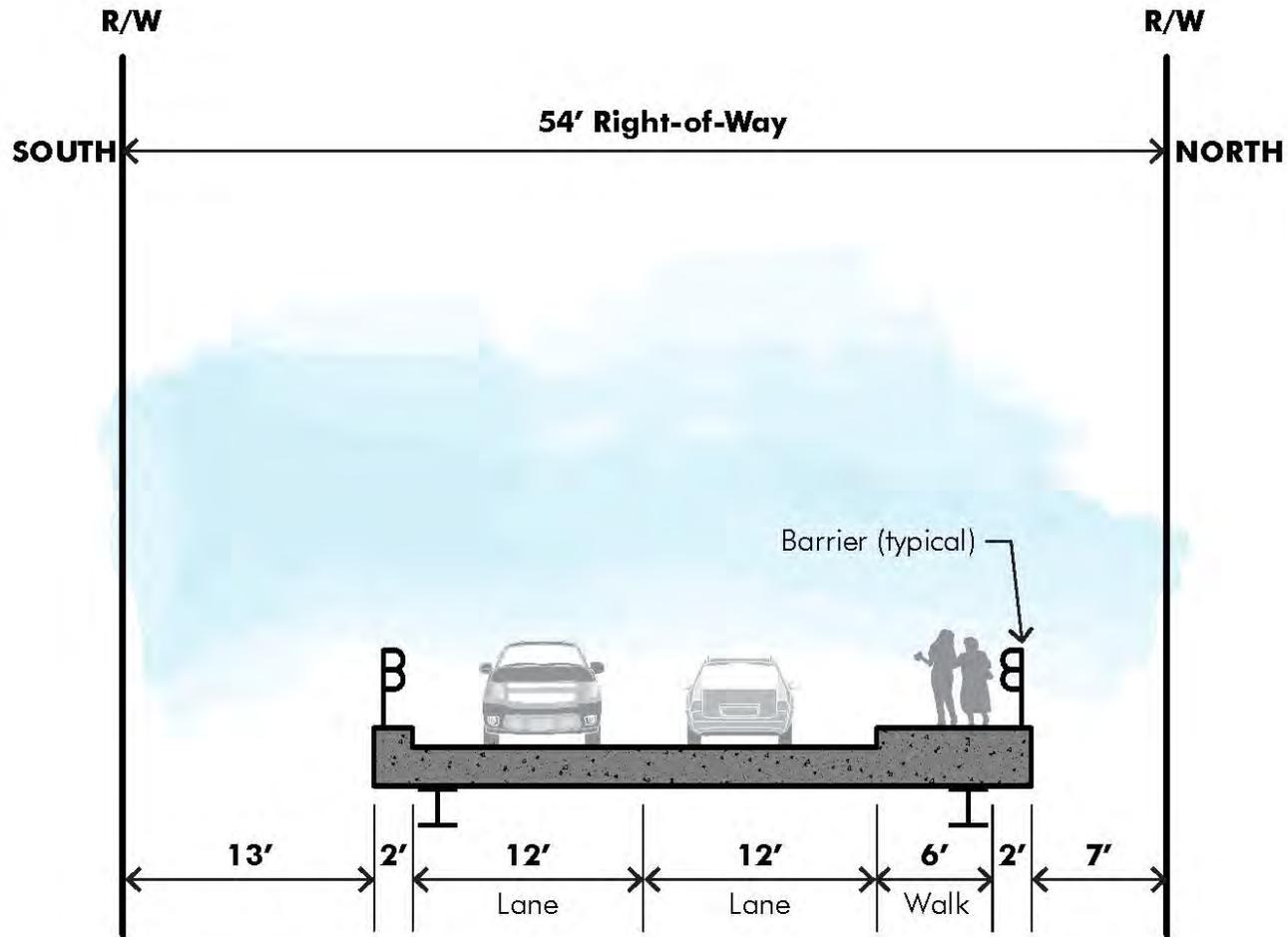
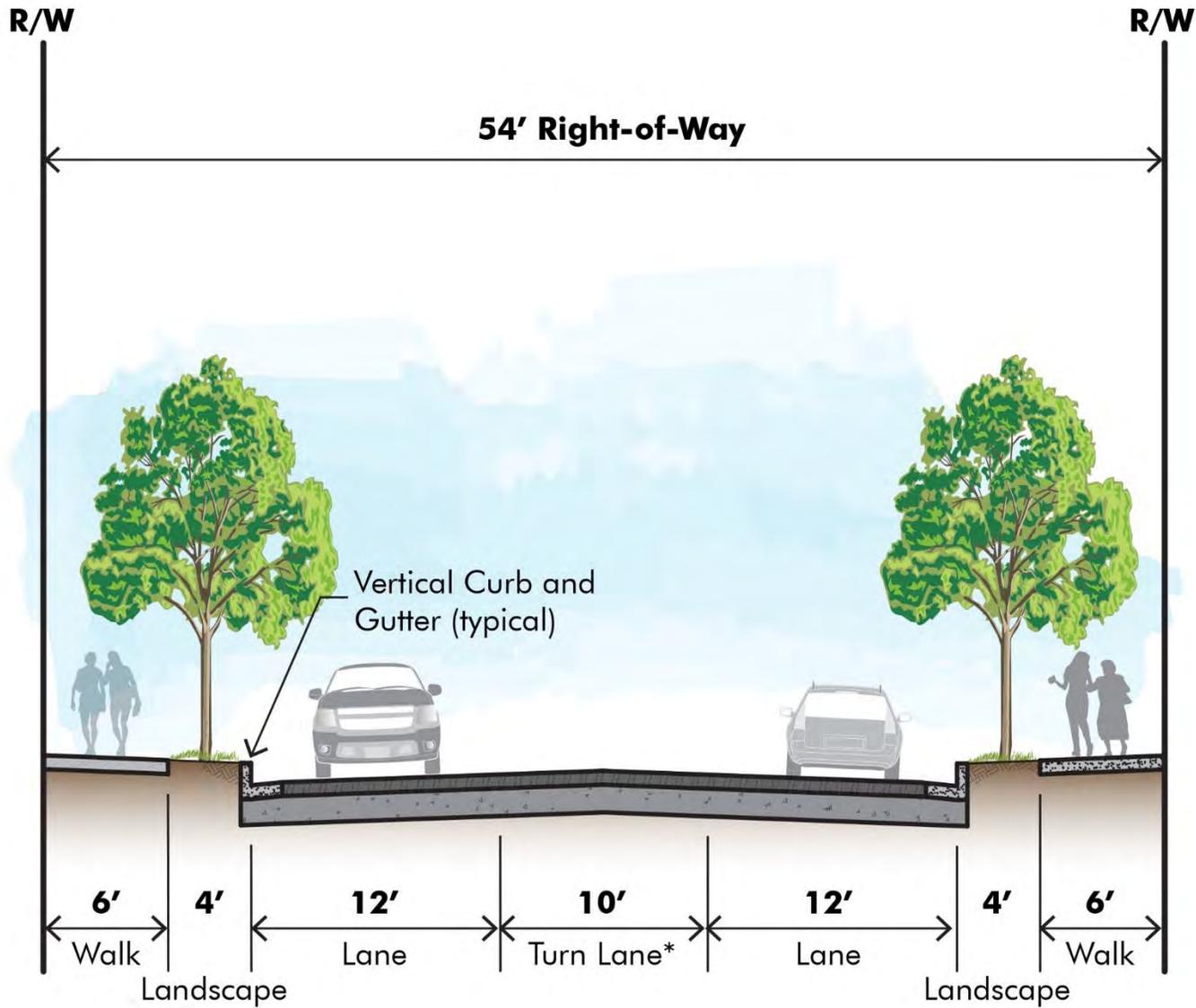


Figure 4-9c: Commercial Street Type 2



\* Provided at driveway locations and intersections to facilitate turning movements.

Figure 4-9d: Commercial Street Type 3

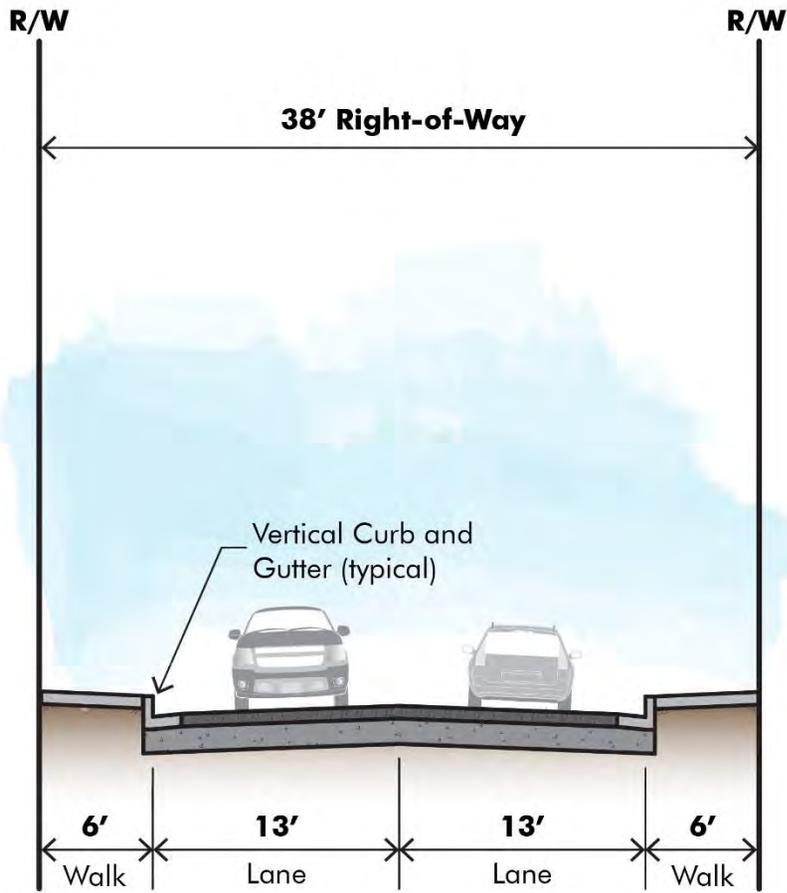
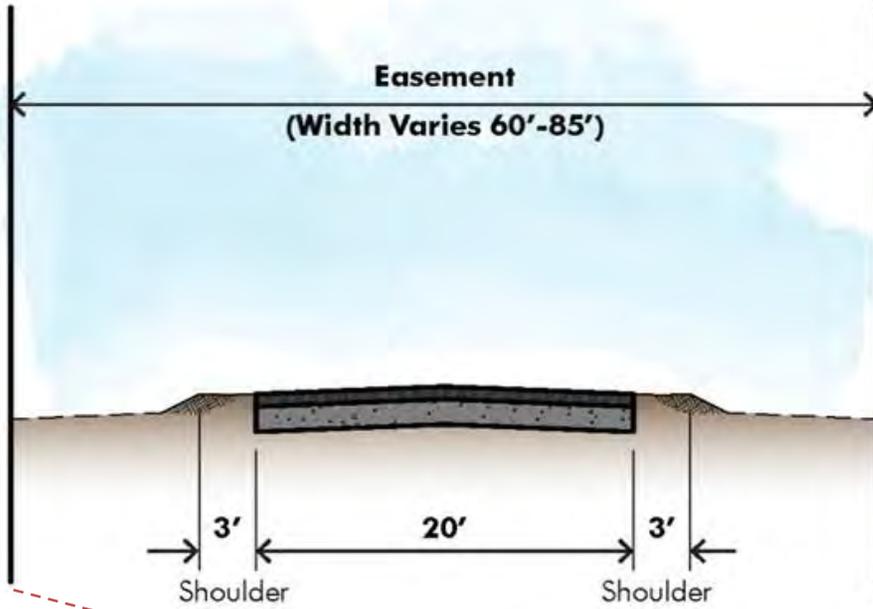


Figure 4-10: Emergency Vehicle Access



### 4.6.6. Special Intersection Treatments

Intersections can present potential points of conflict, especially where the street type changes or where different roadway users may cross other users. To better facilitate efficient movement for all users, a variety of special intersection treatments are proposed within the Specific Plan area.

#### San Juan Oaks Drive and Del Webb Boulevard Intersection

San Juan Oaks Drive will intersect with Del Webb Boulevard at two locations. These intersections will serve as the gateway into the active-adult community component of the Specific Plan area. As such, these intersections will receive special treatment to increase visibility for all users and to signify an entry statement.

Both of these intersections will include a crosswalk along the west side of San Juan Oaks Drive to facilitate efficient pedestrian crossing of Del Webb Boulevard. The southern intersection will include an additional crosswalk across San Juan Oaks Drive that will connect with the existing path to the golf course and clubhouse.

Bike lanes are proposed along Del Webb Boulevard and a multi-use path is proposed on the west side of San Juan Oaks Drive. Signage at the entrance to the multi-use path will be provided to better guide cyclists. In addition, bike lanes will merge with sidewalks on each side just west of the intersection to encourage bicyclists to use the multi-use path and to encourage efficient crossing.

It can be expected that many residents in the active-adult community component will utilize local use vehicles between their homes and the golf course, clubhouse, and commercial area. Designated LUV lanes are proposed along Del Webb Boulevard and along San Juan Oaks Drive from the existing driveway to the golf course and clubhouse to Gavilan Drive. To make these users more visible and to facilitate efficient crossing, signs indicating their crossing will be installed near the

intersection. In addition, the northbound LUV lane along San Juan Oaks Drive will “pull away” from the roadway to create a more efficient crossing.

Figure 4-11a: San Juan Oaks Drive and Del Webb Boulevard North Intersection and Figure 4-11b: San Juan Oaks Drive and Del Webb Boulevard South Intersection illustrate the proposed special intersection improvements for these intersections.

#### San Juan Oaks Drive and Gavilan Drive

Residents, their visitors, and other guests will likely travel from their home, the resort hotel, and/or the golf course and clubhouse to the commercial area. Many of these trips may be by foot, bicycle, or LUV. To better accommodate these trips and to discourage these modes beyond the commercial area, special improvements are proposed for the San Juan Oaks Drive and Gavilan Drive intersection.

San Juan Oaks Drive south of Gavilan Drive is proposed to include a multi-use path along the west side and a shared bike/LUV lane on each side of the roadway. To better accommodate a more efficient crossing, a crosswalk will be provided across San Juan Oaks Drive on the north side of the intersection to connect between the multi-use path and the sidewalk along Gavilan Drive. Bulb-outs at this crosswalk will further define this crossing and provide a transition between the segments with and without the shared bike/LUV lane. In addition, the northbound LUV lane along San Juan Oaks Drive will “pull away” from the roadway to better facilitate merging onto Gavilan Drive.

Figure 4-11c: San Juan Oaks Drive and Gavilan Drive Intersection illustrates the proposed special intersection improvements for this intersection.

Figure 4-11a: San Juan Oaks Drive and Del Webb Boulevard North Intersection

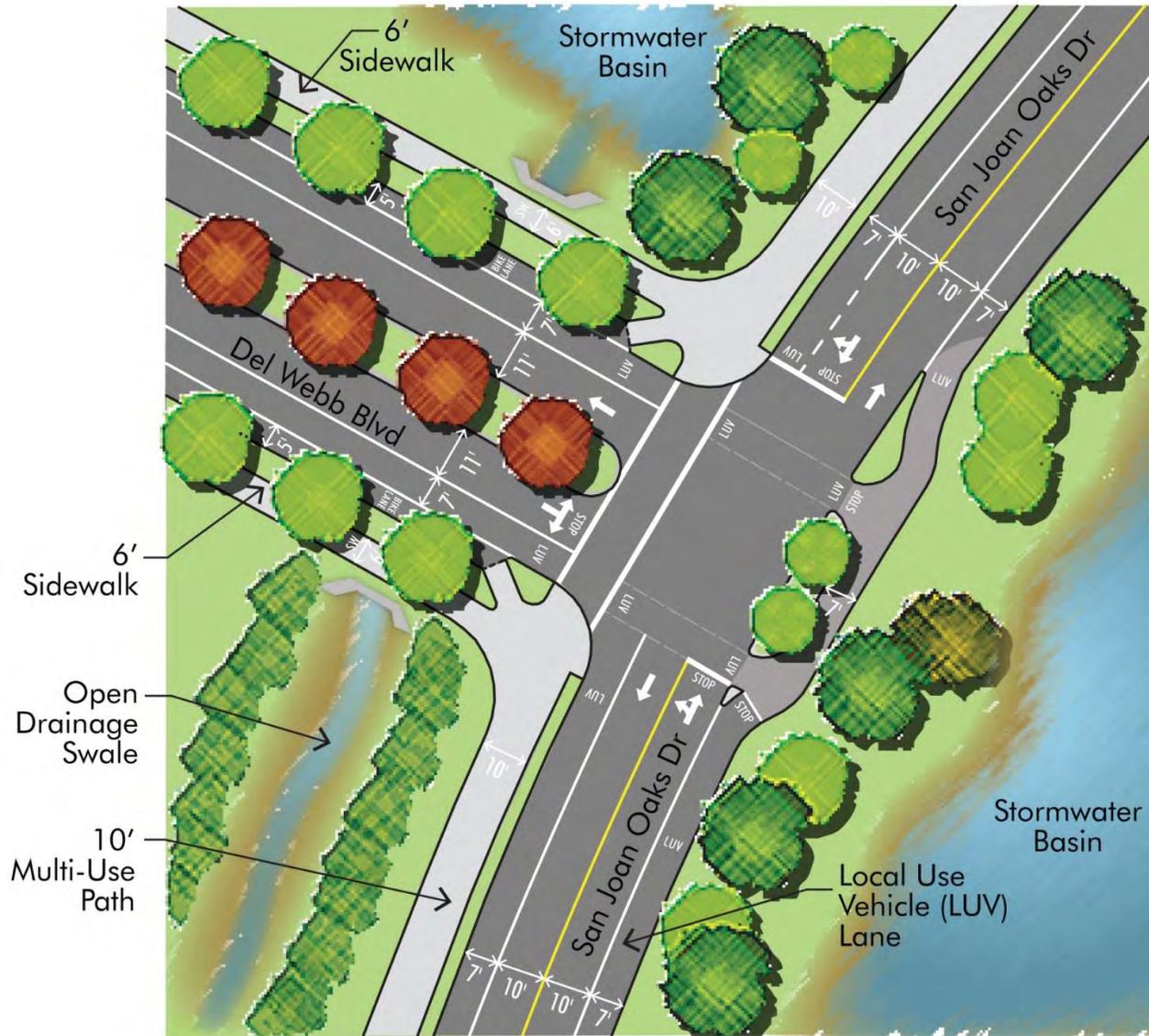


Figure 4-11b: San Juan Oaks Drive and Del Webb Boulevard South Intersection



Figure 4-11c: San Juan Oaks Drive and Gavilan Road Intersection



## 4.7. Streetscape Design

Streetscape design is an integral component for creating community identity. The overall streetscape design goal for the Specific Plan area is to create a healthy, efficient, and walkable community that promotes sustainable landscaping practices, strong connections between uses, and an exceptional quality of life. Streets within the Specific Plan area will be more than just circulation routes; they will also serve as social spaces, aesthetic community amenities, gateway and neighborhood identifiers, and a source of recreation.

In some locations, street landscaping will treat stormwater through vegetation and will maximize shade with abundant trees, thereby reducing heat island effect and increasing the overall aesthetic appeal and pedestrian comfort.

Streetscape design will differentiate key corridors and reflect the circulation hierarchy, while enhancing the overall sense of place. Proposed landscape design reflects the local setting and the desired community character while using native and drought-tolerant species.

Inviting streetscapes will encourage the use of outdoor spaces, thereby promoting social interaction, health and wellness, and community vitality, while also reducing the overall number of automobile trips and associated negative impacts (e.g., traffic and pollution). Landscape planting, hardscape, furnishings, and lighting will together enhance community legibility through highlighting and distinguishing circulation networks, linkages, hierarchy, nodes, and gateways/entries.

[Chapter 3: Design Guidelines](#) provides additional streetscape design guidelines, including gateways and entries, furnishings, and landscaping.

### 4.7.1. Streetscape Landscaping

The proper use of trees, shrubs, groundcovers, and turf along streets in each neighborhood is critical to the development of the Specific Plan area. Landscape planting will define the overall community character for many years to come. Streetscapes shall be designed to enhance the visual landmarks throughout the community, while creating parkways for

the enjoyment of future residents and visitors. Streets will provide effortless connections from one neighborhood to another and to adjacent existing and future communities. Through the use of landscaped medians, landscape corridors, and street tree treatment, these connections will be tied together to create a truly unique community.

Streetscapes should allow for the comfortable flow of vehicles and pedestrians in a human scale environment that defines the community. Planting themes are based on local and regional standards for streetscape design and local climate. The proper mix of evergreen and deciduous trees, shrubs, and groundcovers shall provide quality environments for all seasons.

Below are general descriptions of the various landscape treatments for streets within the Specific Plan area. [Chapter 3: Design Guidelines](#) provides additional landscaping guidelines and the landscape palette.

#### San Juan Oaks Drive

Landscaping will primarily consist of supplementing existing trees to reflect the informal rural environment that characterizes that streetscape currently. Portions of this roadway will feature a bike path. Planting around the multi-use path will be designed to accentuate the edges of the path and provide elements of shade cover with canopy trees.

#### Collector Roads

Street theme and planting pattern will reflect the character of San Juan Oaks Drive and will include informal clusters of street trees and drifts of shrubs and groundcover on both sides of the sidewalks, which will be permanently irrigated.

#### Neighborhood Entry Streets

These streets will be planted with more regular colonnades of trees, both in the landscape corridors and in the medians, with clusters of shrubs and groundcovers to frame the sidewalks. Unlike the informal configurations along Del Webb Boulevard, a more formal character will provide a visual guide into and out from the neighborhoods.

### Neighborhood Streets

Neighborhood streets will be fronted either by (1) front-yard home landscaping installed by the developer or by (2) natural open space. Therefore, landscaping within front yards will constitute the streetscape landscape system. This landscaping will form the landscape theme for that particular neighborhood. Each street will be characterized by a consistent type of theme tree, giving an individual identity for each block.

Neighborhood streetscapes along natural open space areas will have a 30-foot band (variable) of irrigated native and adaptive plant material (trees, shrubs, and/or groundcover) with non-irrigated native landscape beyond the 30-foot band. This landscaping will provide fire protection “fuel modification” program, creating a buffer between the drier, natural open space and the residential dwellings. Plant species selection will conform to local fire department standards.

### Open Space Trail System

The Specific Plan area will include a variety of trails and pedestrian corridors, enabling convenient access within the community and into the natural open spaces abutting the southern edge. In general, pedestrian corridors within the developed community will be paved as urban walkways and sidewalks. However, in areas such as the northern open drainage channel, walkways will be informal connectors and may be constructed pathways of decomposed granite or other similar materials.

The southern hillside areas are considered preservation zones. Pedestrian circulation will consist of open dirt or decomposed granite trails as improvements to existing trails or development of new trails.

### 4.7.2. Streetscape Furnishings

Street Furniture (e.g., benches, trash and recycle receptacles, rest stop areas, etc.) can be intermittently located at strategic points along the street, in parks, and in commercial areas. Selection of these features should reflect the style and character of the buildings, lighting, and other street details. Furnishings will be made of durable high-quality materials and should be selected for functional compatibilities, resistance to vandals, and ease of maintenance. They should be low maintenance and major components should not be exposed to metal or other unprotected surfaces that may be harmful in direct sun.



### 4.7.3. Streetscape Lighting

Consistent with streetscape furnishings, lighting within the Specific Plan area will express the envisioned aesthetic and community character. Lighting design will help differentiate between land uses, highlight public and pedestrian-scaled spaces, provide continuity and aesthetic appeal along corridors, and encourage pedestrian and vehicular efficiency. Lighting along multi-use paths, walkways, and other areas used by pedestrians and bicyclists should be provided.

Lighting will utilize high efficiency technologies, dark-sky cutoffs, strategic orientation to avoid spillover into adjacent properties and open space areas, and appropriate shielding or recesses to minimize glare and reflections. Street-oriented, pedestrian-scaled, bollard, and building-mounted light design shall be identified in the project-wide infrastructure master plan to be developed as an implementation measure of the Specific Plan.

Street lighting will meet County standards; however, alternative street light designs may be allowed, subject to approval by the Director of Planning & Building Inspection Services. Chapter 3: Design Guidelines includes guidelines for street, building, and site lighting.



# 5

## **INFRASTRUCTURE AND PUBLIC SERVICES**

This chapter describes the plan for infrastructure and utility need (e.g., water, sewer, recycled water, etc.) and public services for the Specific Plan area.



The San Juan Oaks Specific Plan includes a variety of public facilities and services intended to support and serve the needs of plan area residents. Given the lower person per household average associated with an age-restricted community, the plan area is anticipated to require fewer infrastructure and service demands as compared with a conventional community.

Services include: water, sewer, storm drainage, solid waste disposal, fire and police protection, schools, library, and utilities. Parks and recreation facilities are addressed in detail in [Chapter 6: Parks, Open Space & Landscaping](#). Phasing of facilities is discussed in [Chapter 2: Land Use and Development Standards](#). [Table 5-1: Service Providers](#) lists the various service providers for the project.

**Table 5-1: Potential Service Providers**

Service	Provider
Water	Public utility or mutual water company
Recycled Water	Public utility or mutual water company (contract with City of Hollister)
Wastewater	Public utility or mutual water company (contract with City of Hollister) or on-site WWTP.
Storm Drainage	AHOA or GHAD – on-site / San Benito County – off-site
Electric Service	Pacific Gas & Electric
Gas Service	Pacific Gas & Electric
Telephone	AT&T
Cable	Charter Communications
Fire Protection	City of Hollister
Police Protection	San Benito County – Sheriff Department
Schools	Aromas-San Juan Unified School District
Library	San Benito County Free Library
Solid Waste Disposal	San Benito County – Integrated Waste Management Department; or through contract to haul off separately if on-site wastewater treatment plant is constructed

### 5.1. Water Supply

The project Applicant will be responsible for building the water supply system for the proposed project. Once constructed, the system will be operated and managed by a separate entity – either a regulated public utility or a mutual water company. There are two existing and available sources of water supply for the project: groundwater and imported Central Valley Project water. Recycled water is not presently available but may be in the future. Both imported water and recycled water (if available) are limited to non-potable uses such as irrigation as they will not be treated for human consumption. As such, these sources of supply would be used to meet specific demands of the project.

### Imported Central Valley Project Water

Water from the Central Valley Project (CVP) is brought into San Benito County and is stored in San Justo Reservoir immediately east of the project. SBCWD has a 40-year contract with the United State Bureau of Reclamation (extending to 2027) for a maximum of 8,250 AFY of municipal and industrial (M&I) water and 35,550 AFY of agricultural water per year (AFY) of municipal and industrial (M&I) water and 35,550 AFY of agricultural water. The SBCWD contracts with local agricultural and municipal and industrial users for the delivery of CVP water for use within a defined zone of benefit within the SBCWD's boundaries – Zone 6 (San Felipe Project). Lands within Zone 6 (which includes the project site) are entitled to purchase and take delivery of CVP water. Municipal and industrial users are entitled to maximum allocation of 1.2 AF per acre per year, excluding paved portions of the land. The SBCWD's San Felipe Project water is non-potable supplemental and interruptible.

The existing San Juan Oaks Golf Club currently uses a blend of CVP water and groundwater to irrigate the golf course and to operate the related facilities. In 2005, the golf course used 400.8 AFY of CVP water and 40 AF of groundwater. In 2010, it used 182.11 AFY of CVP water and 233 AF of groundwater. As shown, the type of water used for golf course irrigation has changed over time due to rising costs of imported water, causing a shift to the use of additional groundwater. Initially, the golf course was irrigated with up to 90 percent CVP water. More recently, CVP water use has been reduced so that it generally makes up 40 to 65 percent of irrigation supply, with the remaining demand met with groundwater. In the future, CVP water will continue to be used, in combinations with groundwater, to serve existing non-potable demand and may also be used to serve the project's non-potable demand. In the event recycled water becomes available for use in the project site, CVP water may continue to be used in combination with groundwater and recycled water.

### Groundwater

Groundwater in San Benito County is managed by the SBCWD. The project site is located on the southwestern edge of the San Juan Subbasin, which is part of the larger Gilroy-Hollister groundwater basin.

There are currently two active wells (Well 1 and Well 2) on the project site that supply groundwater from the San Juan Subbasin to the golf course and clubhouse for both potable and non-potable use. Well 1 is the primary groundwater supply source, while Well 2 functions as a backup in case of operational disruption of Well 1. Well 1 was constructed in 1995 and is capable of producing up to 1,200 gallons per minute (gpm). Well 2 was constructed prior to construction of the golf course and is capable of producing up to 500 gpm. In 2005, total groundwater use for the project site was 40 AFY; in 2010, it was 233 AFY.

As shown in [Figure 5-1: Proposed Potable Water System](#), the project would construct two additional groundwater wells in the San Juan Subbasin. Potable water from the active-adult community would be derived from a new well to be located close to the existing San Juan Oaks Well 1. A second backup well would also be constructed. Potable water for the remainder of the project components, which would include the non-age restricted housing, the resort hotel, the neighborhood commercial uses, and the existing San Juan Oaks Golf Club, as well as associated landscape areas, would be derived from existing wells.

Groundwater from these two wells will be treated and pumped to an existing water tank on a hillside located south of the proposed extended San Juan Drive. To ensure adequate fire suppression storage, the existing tank could be upgraded, a new water tank could be included at this location, or an additional tank could be constructed on the hillside south of the Amenity Center. This will be determined based on final design requirements in coordination with the San Benito County Fire Department.

For both water systems, new and/or extended water lines will be constructed through a conventional pressurized system of pipes located within the new backbone rights-of-way to service the project.

Due to project ownership requirements, potable water for the active-adult community (Del Webb) will be kept separate from the rest of the project. However, in case of an emergency, the two systems will be designed to allow joint water use.

### Recycled Water

If and to the extent available in the future, a portion of the total project non-potable water demand could be met with recycled water. As shown in [Figure 5-2a: Proposed Recycled Water System](#), recycled water may be used to satisfy non-potable irrigation demands associated with the amenity center, neighborhood parks and open space common areas within the active adult community, as well as the resort hotel and golf course. Some blending of recycled water with either CVP imported water or groundwater may be necessary to meet the water quality needs of these irrigated areas. As was done during construction of the existing golf course, the Applicant has committed to the installation of a dry “purple” pipe within the active adult community. The remaining pipe would be constructed at a future date by the water purveyor and connected to the active adult community recycled water pipes.

The City of Hollister owns and operates the domestic wastewater treatment plant/water reclamation facility (DWWTP/WRF), located about 2.5 miles north of the project Site boundary and north of San Juan Road. This facility has the capacity to meet the requirements for disinfected tertiary recycled water as defined by Title 22. However, the effluent streams from the treatment facilities have high levels of total dissolved solids (TDS), which may preclude reuse on orchards and vineyards or non-food bearing trees.

Currently, the DWWTP/WRF produces approximately 230 AFY of recycled water for use within the City of Hollister (Todd Engineers, 2013). At present, the project Site does not use recycled water. The DWWTP/WRF plans to increase the quantity of disinfected tertiary recycled water that it produces as demand for recycled water increases, in accordance with the Hollister Urban Area Water and Wastewater Master Plan (2011). Through a Memorandum of Understanding included in the Hollister Urban Area Water and Wastewater Master Plan, marketing and distribution of recycled water for purposes outside of the city limits of the City of Hollister is the responsibility of the SBCWD.

If and to the extent available, recycled water from the DWWTP/WRF would be conveyed to the project Site (see [Figure 5-2b: Potential Future Recycled Water System \[Extension along San Juan Hollister Road\]](#)), and

used for non-potable irrigation of all common area landscaped areas, as well as to supply a portion of the golf course demand. The on-site water supplier would have to contract with the City of Hollister and the SBCWD for this purpose. Off-site recycled water system infrastructure would also be required, but is not part of this Specific Plan.

Figure 5-1: Proposed Potable Water System

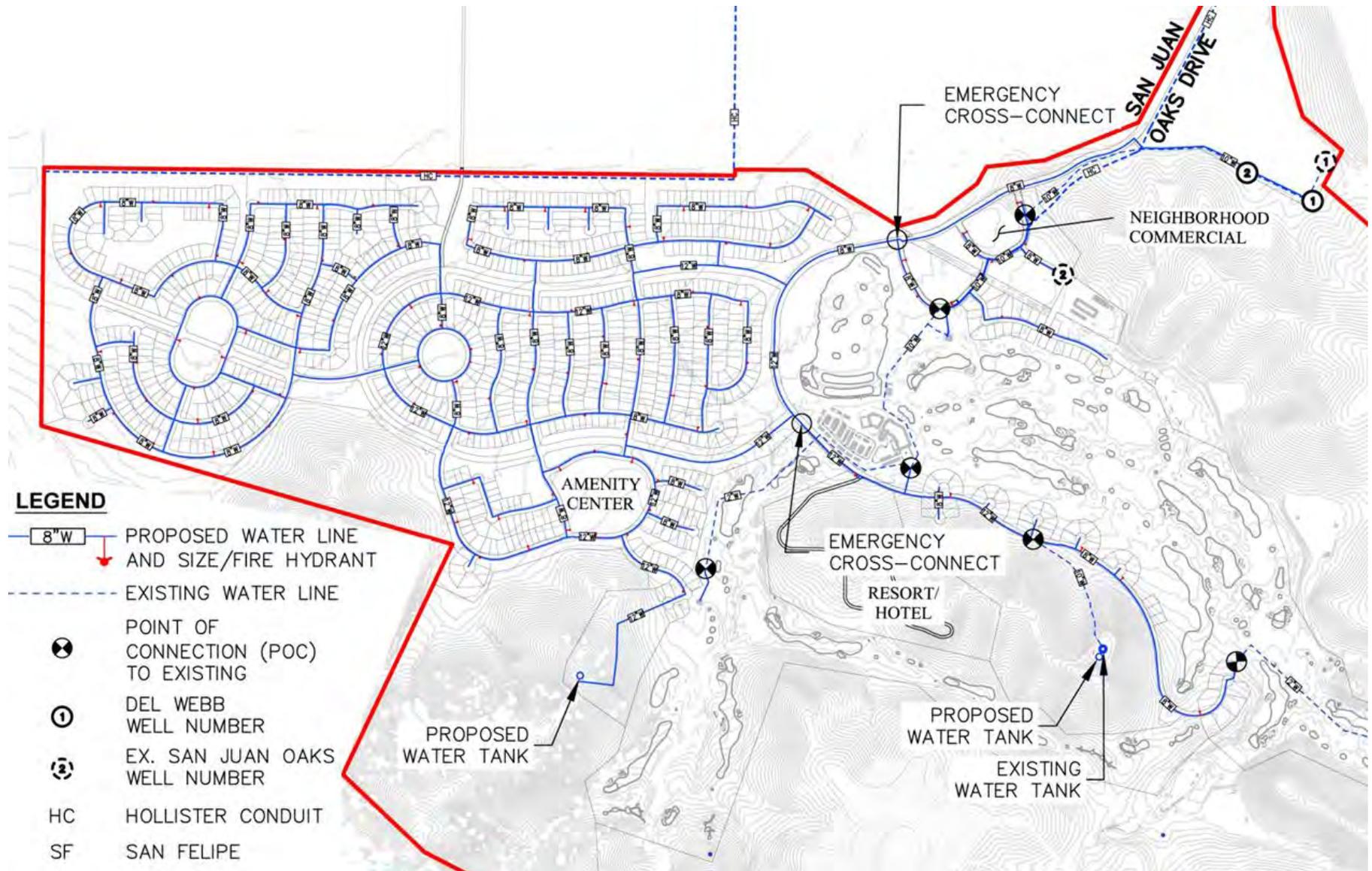
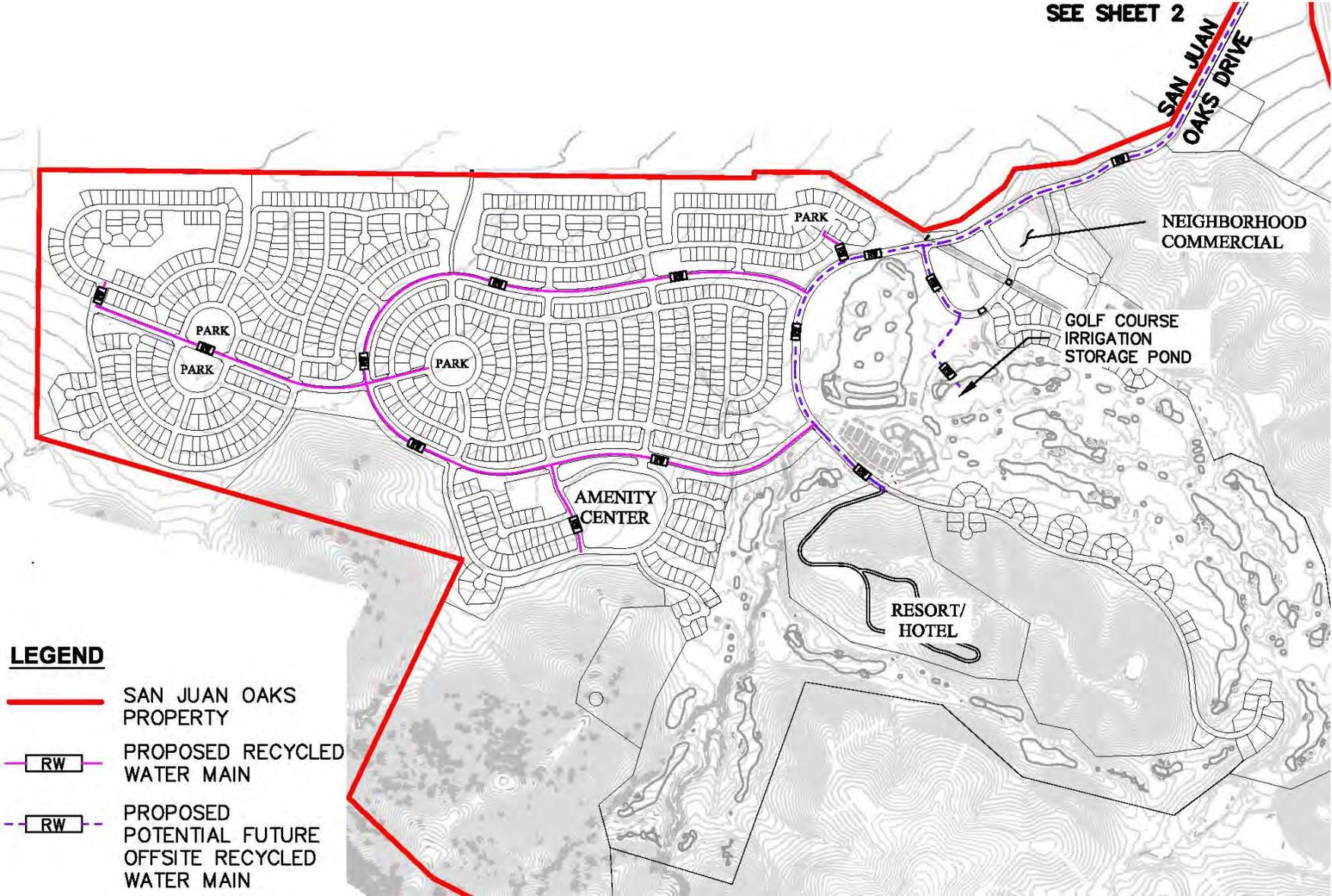
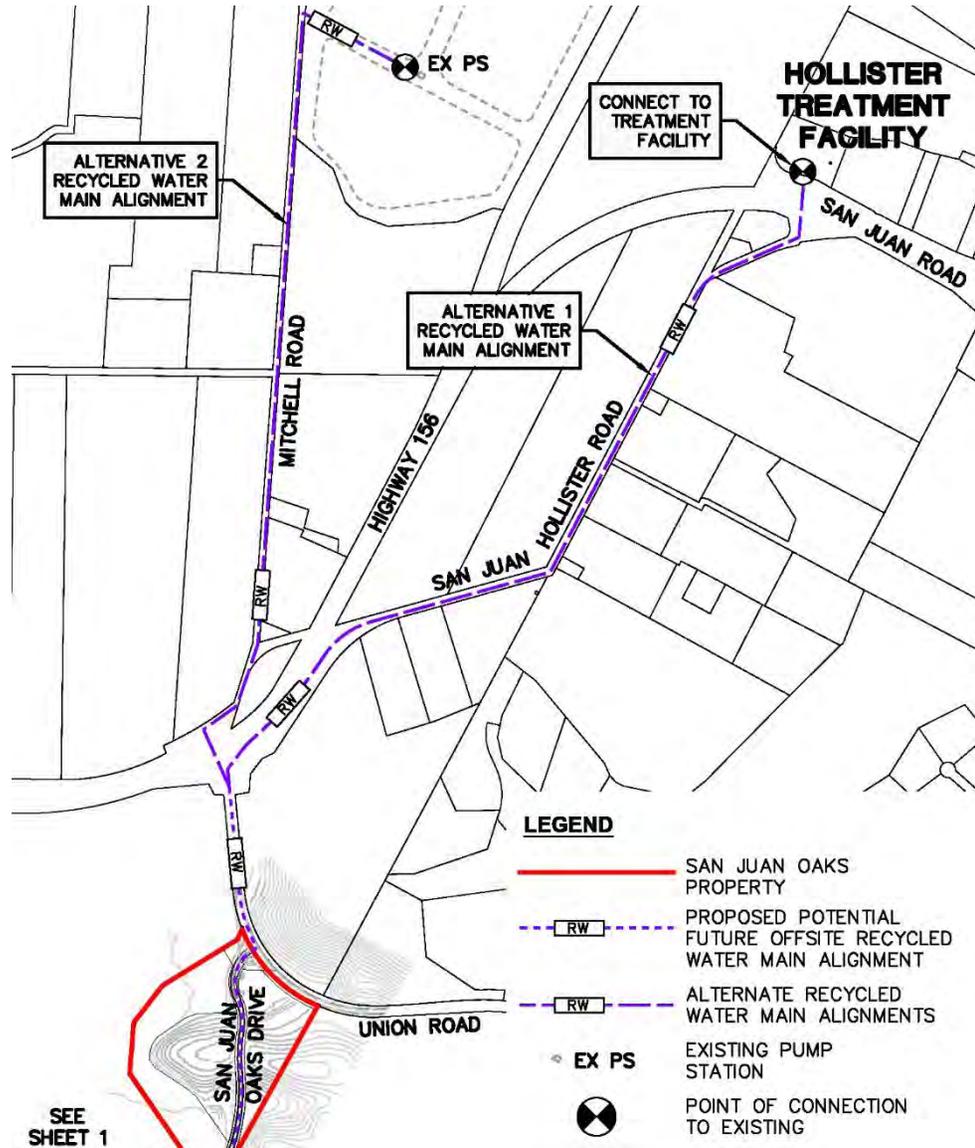


Figure 5-2a: Proposed Recycled Water System



**Figure 5-2b: Potential Future Recycled Water System  
(Extension along San Juan Hollister Road)**



## 5.1. Wastewater

The existing wastewater system on the project site consist of a gravity flow sanitary sewer lines that extend west from the clubhouse and golf snack bar to a leach field located just west of San Juan Oaks Drive.

As shown in [Figure 5-3: Proposed Sanitary Sewer System](#), wastewater generated from the Specific Plan area will be collected and conveyed through a conventional gravity system of pipes located within the new street right-of-ways.

This wastewater will be collected at one of two pump stations to be located in Open Space Common Area areas at the northern boundary of Phase 1 and Phase 4. Wastewater will then be conveyed via a sanitary sewer force main approximately 1.6 miles north to the end of San Juan Oaks Drive and 1.3 miles along Union Road and San Juan Hollister Road to the City of Hollister’s domestic wastewater treatment plant/water reclamation facility (DWWTP/WRF), located just north of San Juan Road. The alignment of the sanitary sewer force main will take into consideration the Caltrans 156 project to avoid conflicts and relocation.

### 5.1.1. Optional On-site Wastewater Treatment Plant

In the event that project wastewater cannot be conveyed to the City of Hollister’s DWWTP/WRF for treatment and disposal, the project Applicant propose the construction of an optional on-site waste-water treatment plant (WWTP) within a portion of the Neighborhood Commercial area. The wastewater facility would be a stand-alone on-site wastewater reclamation system (aka “package” or “batch plant”) that would serve the proposed land uses.

While not reducing the amount of developable neighborhood commercial square footage, the approximately three acre site would be fully enclosed with fencing and landscaping and all operations and maintenance vehicle parking would be located inside the fenced area. The building(s) would be one story structure(s) and would be consistent with the neighborhood commercial design guidelines as described in the Specific Plan. The plant would operate on a 24-hour basis, with approximately 16 hours of operational staff time per week. The plant

would be configured with local controls, odor minimizing features, and aesthetic features to blend the plant into the overall development. The on-site WWTP would use a membrane bioreactor (MBR) process to treat up to approximately 0.15 million gallons per day (mgd) of wastewater.

Wastewater from the plant would be treated to a tertiary-quality effluent level that would meet all State Title 22 recycling criteria for unrestricted irrigation uses. There would be several options for use of the treated water. The treated water could be used for irrigation on the project site including the golf course, open space areas, and public landscaped medians. During the non-irrigation periods (winter months), the treated water would be stored in existing dedicated ponds within or adjacent to the golf course. The bio-solids removed during the treatment process would be transferred via truck to the Monterey Regional Waste Management District (MRWMD) landfill for disposal or other appropriate facility.

Figure 5-3a: Proposed Sanitary Sewer System

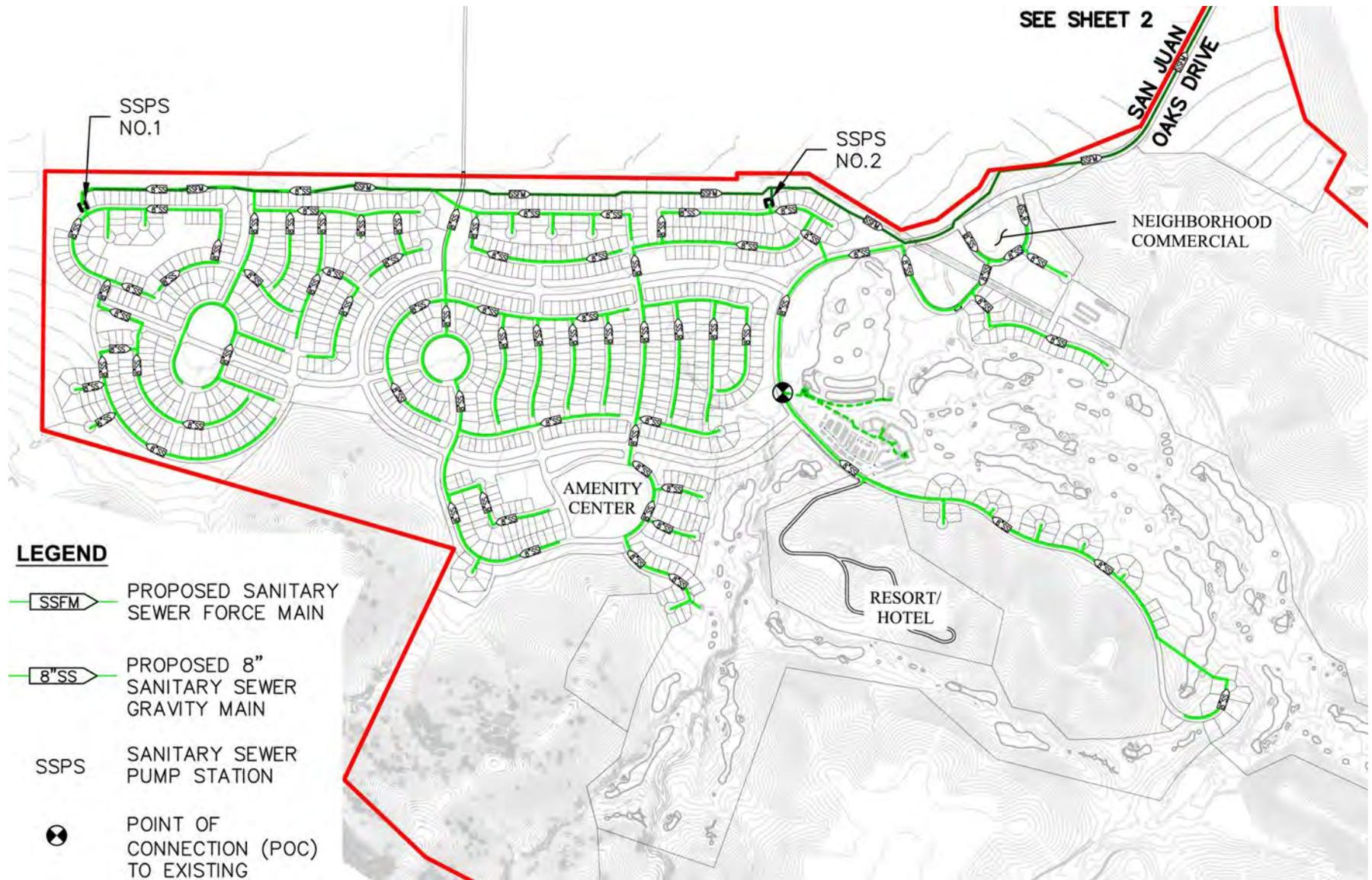
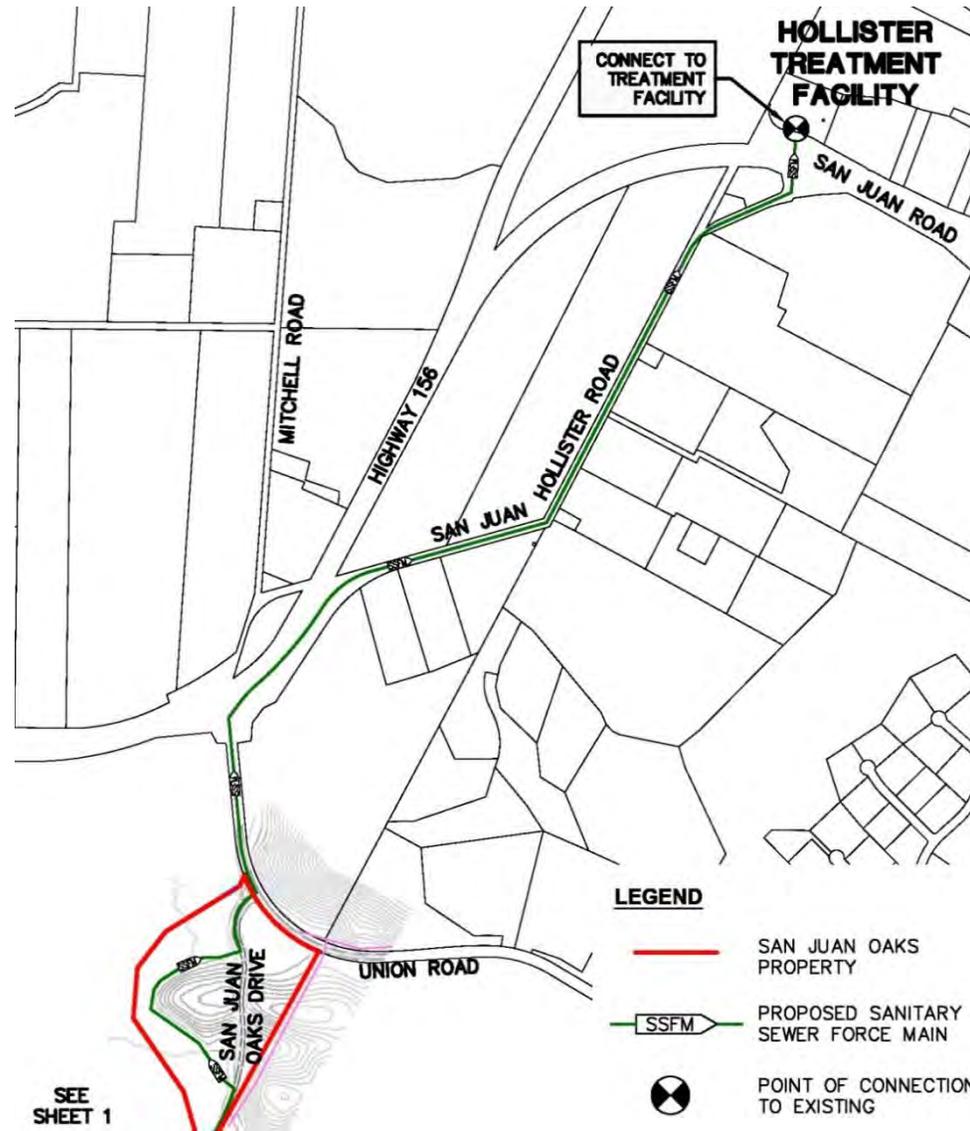


Figure 5-3b: Proposed Sanitary Sewer System (Extension along San Juan Hollister Road)



## 5.2. Stormwater and Water Quality

As part of this Specific Plan, a *Preliminary Stormwater Control Plan* has been prepared by Balanced Hydrologics (October 2013). Additionally, grading, drainage, and erosion control plans will be submitted to San Benito County as part of project approvals. A summary of existing conditions and proposed stormwater management plan are described below. Stormwater management policies are described in [Chapter 7](#).

### Existing Conditions

All surface runoff, including a number of adjacent, off-site watersheds, currently discharges to a drainage ditch at the northwest corner of the project site. A map of these drainages and associated watershed boundaries is shown in [Figure 5-4: Existing Drainage Patterns](#).

Along the eastern portion of the site, the upland watersheds are characterized by clearly defined flow paths that generally run from south to north and discharge towards the golf course. Prior to discharging to the golf course, most of these drainages flow through stormwater basins that were constructed to reduce flood flows and minimize sediment and debris delivered to the golf course.

Runoff is conveyed across the golf course through a series of open channels, underground storm drains, and golf course ponds. Most of the golf course ponds hold water year round and are used for irrigation purposes and to provide an aesthetic benefit to the golf course. Given the minimal storage capacity above the normal operating water level, these ponds are not anticipated to provide any significant level of flow control during flood events. Two possible exceptions to this assumption include the large stormwater basin (Basin E1) that was constructed to the northwest of the clubhouse and designed specifically to detain peak flood flows from the parking lot, and a relatively deep depression (Basin E2) located southeast of the golf course maintenance building that is anticipated to retain runoff during moderately sized flood events.



Image courtesy of Steve Loos Photography

Most of the channels that flow onto and through the golf course discharge to a drainage ditch that flows along the northwest boundary of the project site. The southwest portion of the golf course and upslope drainages discharge into a well-defined channel that flows onto the series of shallow alluvial fans that cover the northwest portion of the site. As this channel flows west across the alluvial fans, it loses form and disperses flow across the shallow grass plain. This drainage ultimately collects in a mitigation wetland (Basin O) previously constructed near the northwest corner of the site that overtops during flood events into the same drainage ditch that conveys flows from the majority of the golf course.

### Stormwater Management Constraints

Downstream conveyance limitations. The drainage network downstream from the project site has limited conveyance capacity that has prompted the project to adopt more stringent peak flow attenuation standards.

Off-site run-on. Portions of the project site that are proposed to be developed receive run-on from undeveloped portions of the site as well as from adjacent drainages. The total watershed area that will need to be routed through the northwest portion of the site is approximately 6.5 square miles (approximately 12 times larger than the 330 acres proposed for development).

Upslope sediment and debris delivery. The upslope drainages are anticipated to deliver sediment and debris to the proposed developed areas within the project site during moderate to large storm events. If unaddressed, sediment and debris could deposit within the proposed stormwater infrastructure and along the receiving waters downstream from the project.

Low permeability soils. The proposed developed portions of the site are characterized by soils that have relatively low permeability precluding the use of infiltration based stormwater management strategies.

### **Stormwater Management Opportunities**

Low rainfall totals and intensities. The mean annual precipitation at the site is roughly 15 inches, an indicator of a relatively dry climate consistent with the watershed location on the lee side of the Gabilan Range. The related volume of rainfall in individual storm events as well as the peak rainfall intensities will be similarly muted. The net result is that less volume and lower flow rates will need to be accommodated to meet runoff treatment goals.

Low permeability soils. Also listed as a constraint, the low permeability soils within the developed portions of the site will limit the impacts of newly added impervious area on peak runoff rates from the project site.

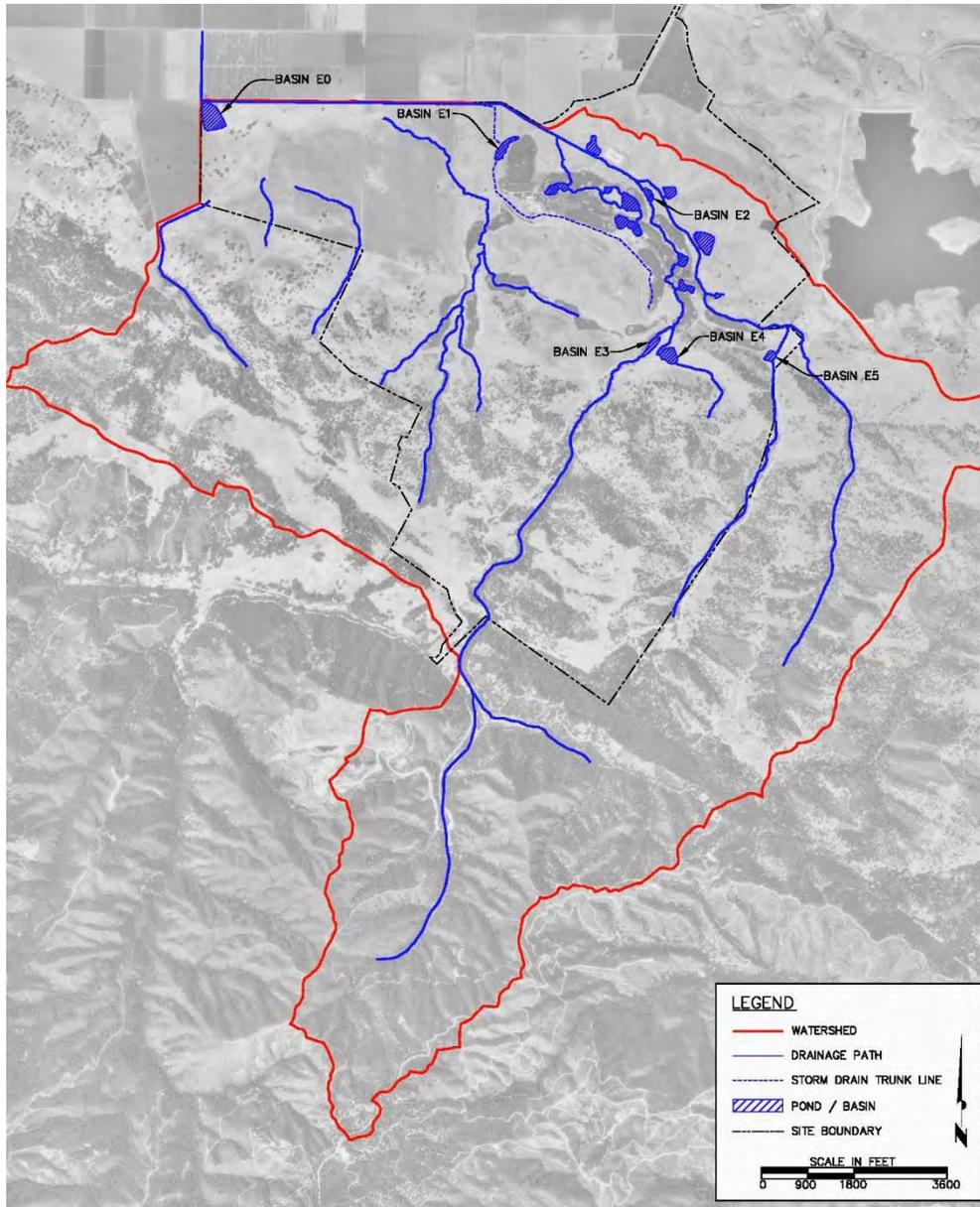
Higher permeability off-site soils. The watershed areas upslope from the portions of the site proposed for development are generally characterized by soils that have moderate to high permeability, reducing the magnitude and volume of the flows that need to be routed through the proposed project stormwater infrastructure.

Favorable topography. The site topography lends itself to a grading plan that takes advantage of a limited number of points of concentration where “end of pipe” treatment controls can be located.

Land use plan. The current land plan contains clustered development areas with ample adjacent acreage that is suitable for siting treatment measures.

Golf course basins. A number of existing stormwater and sediment control basins located upstream from the existing golf course have the potential to be expanded and modified as needed to meet the stormwater management objectives for the project.

Figure 5-4: Existing Drainage Patterns



### 5.2.1. Proposed Stormwater Management Plan

The project will implement a multi-tier stormwater management strategy specifically designed to mitigate any potential hydrologic impacts and to protect and enhance the functions and values of aquatic resources on-site and in downstream areas. Aspects of the overall stormwater management plan will include use of site design features to limit rainfall runoff, efficiently collecting and retaining or detaining runoff, providing water quality treatment, and managing peak flows leaving the project site.

Pre- and post-project conditions for the project were modeled by Balance Hydrologics (2013) for the 2-, 10-, and 100-year design storm events. Building pads will be free from flood hazard for the 100-year frequency storm by elevating finished floor elevations above the 100-year level of flood protection.

Modeled peak flow rates were calculated in the drainage ditch at the northwest corner of the project site where stormwater would flow off-site and downstream to San Juan Creek. Preliminary sizing analysis indicated that a combined additional detention volume of 63 acre-feet would be required to match or exceed post-project peak flow rates to pre-project levels.

As shown in [Figure 5-5: Proposed Stormwater Drainage and Detention System](#), 21 stormwater basins are conceptually proposed west of San Juan Oak Drive and three additional basins are proposed within the golf course (for a total of 24 new basins). Additionally, an existing basin located to the northwest of the clubhouse (Basin DE1) is proposed to be expanded. Six existing basins located in the vicinity of the golf course will remain unchanged and continue to provide stormwater detention.

As shown in [Table 5-2: Modeled Stormwater Peak Flow Rates](#), peak stormwater flow rates would be essentially unchanged during the 2-year peak storm event and would be reduced during the 10- and 100-year events.

**Table 5-2: Modeled Stormwater Peak Flow Rates**

	2-Year	10-Year	100-Year
Pre-project Condition	78.8	279.2	841.5
Post-project Condition	78.6	268.1	789.3

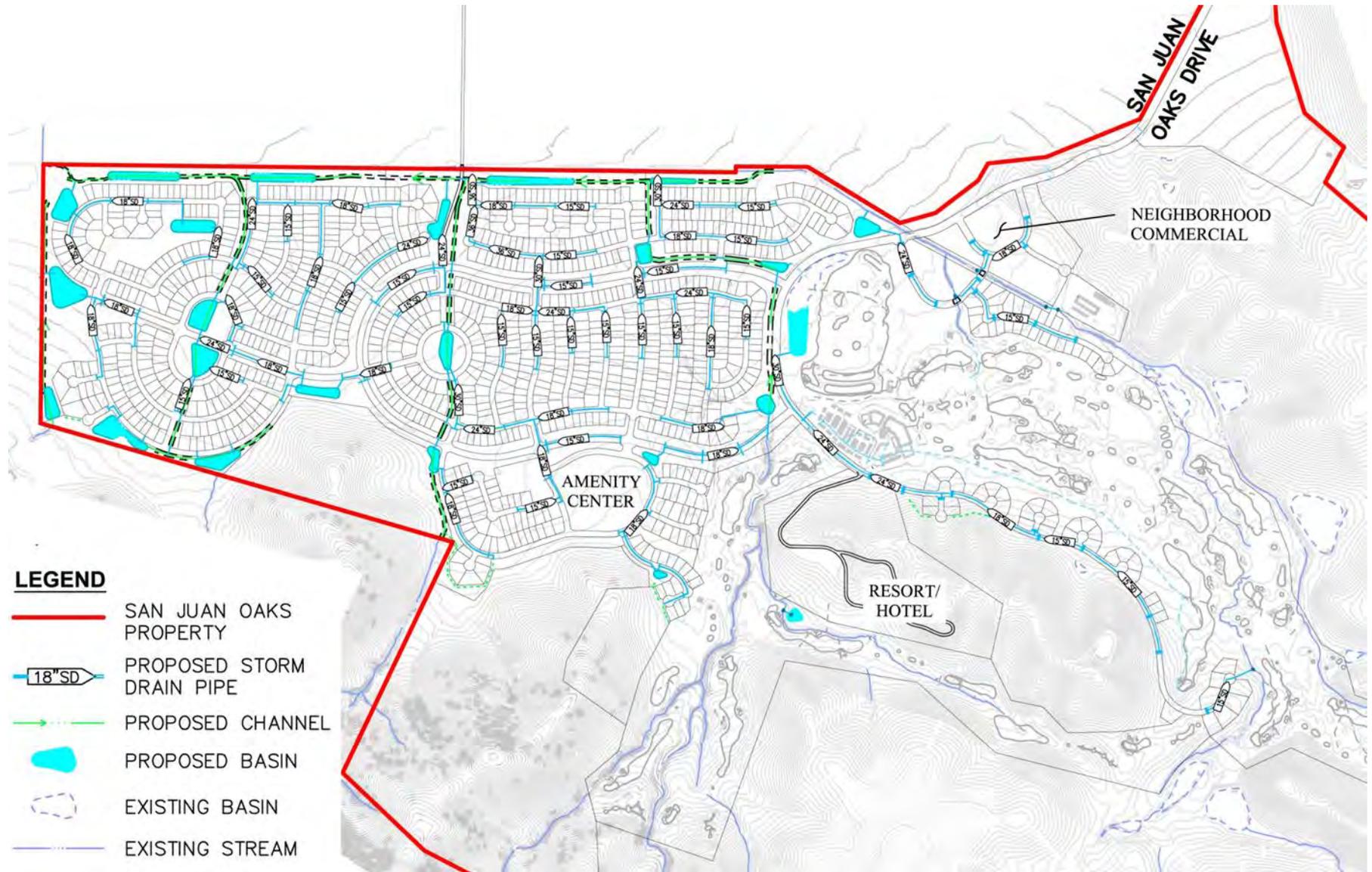
Note: All numbers are cubic feet per second (cfs)  
 Source: Balance Hydrologics, 2013.

As the site plan for the project is refined and detailed basin designs developed, a more comprehensive analysis will be completed that accounts for the stormwater basins on an individual basis. In the event that additional detention volume is determined to be required, the project may elect to expand or modify additional basins located throughout the golf course.

In addition to meeting the criteria contained within the State’s Water Quality Control Board Construction General Permit (Order 2009-0009-DWQ), the project plans on meeting the more stringent standards related to water-quality treatment control measures outlined in the California Stormwater Quality Association Stormwater Best Management Practice Handbook. More specifically the project intends to use either the flow or volume based BMP (Best Management Practice) design criteria from this document to size treatment controls such as rain gardens, in-ground planters, vegetated swales, and wet ponds.

The project may also incorporate drain inserts and media filters in a limited number of constrained locations to meet the stated water quality objectives. By electing to apply this more stringent standard, the project is committed to providing additional mitigation for water quality impacts that are comparable to other jurisdictions within the Bay Area and Central Coast California.

**Figure 5-5: Proposed Stormwater Drainage and Detention System**



### 5.3. Dry Utilities

Gas and electric service for the Specific Plan area will be provided by Pacific Gas and Electric Company (PG&E). Telecommunications services are provided by AT&T and Charter Communications. These utilities currently serve the existing site and will be expanded to the rest of the site by the Developer commensurate with each phase of the project. A new point of connection for the dry utility system will be made at Highway 156 and will be extended to the Specific Plan area along an existing 60-85 ft. utility easement.

### 5.4. Public Services

#### 5.4.1. Fire Protection

Fire service to unincorporated San Benito County is provided by the City of Hollister Fire Department. Fire service will be provided from two locations. The first is the existing City of Hollister Fire Station Number 2, located at the intersection of Union Road and Highway 25, approximately five miles southeast of the Specific Plan area. The second station is the San Juan Bautista Station, located in the City of San Juan Bautista, approximately five miles west of the proposed Specific Plan area. This station is being transitioned from a volunteer station to a fully-staffed station as part of the fire consolidation process with Cal Fire who until recently provided fire protection service to San Benito County.

In addition, the project Applicants have incorporated into their proposal an offer of dedication to the County for an approximately two-acre site (consistent with the 2003 project conditions of approval), as a potential future site for an additional fire station or other public safety facility.

As part of project design, all road widths and circulation, as well as the placement of fire hydrants and installation of automatic sprinkler systems, shall be designed with the guidance of the City of Hollister Fire Department. A road system that allows unhindered Fire Department access and maneuvering during emergencies shall also be provided. Specifically, the project shall comply with the following:

- All public and private roads shall be all-weather surfaces with a minimum width of 18 feet, unobstructed by parking. Cul-de-sacs and turnouts will be designed to Fire Department standards. For private roads, there will be ongoing and legally binding provisions to maintain the roads to Fire Department approval.
- Structure numbers and street signs shall be lighted to County standards so that emergency vehicles including police and ambulances can locate residences in the event of any emergency.
- All fire hydrants shall be installed in accordance with County Zoning requirements.
- Prior to approval of Land Use permit, the Applicant shall submit revised plans subject to the review and approval by the Fire Department that illustrate the roadways and site access, and the placement of fire hydrants throughout the site. Primary access shall be constructed as part of initial grading, and fire hydrants shall be installed prior to occupancy for each project phase.
- The projects water system shall be designed to maintain a minimum fire flow of 2,500 GPM for two hours (or greater) at 20 PSI.
- The Applicant shall prepare a fire/vegetation management plan as described in [Chapter 7: Resource Management](#).

#### 5.4.2. Police Protection

The San Benito County Sheriff's Department provides police service for the project area. The sheriff station nearest to the project site is the Hollister Main Office, located at 2301 Technology Parkway, approximately three miles east of the site. In addition, the Department maintains a field office in the City of San Juan Bautista, approximately three miles northwest of the site. This station would also be used to respond to emergencies at the site. Emergency response times for the Department are dependent on where the patrol vehicles are in relation to a call, as well as the nature of the call. The estimated average response time to the project area is generally 5-7 minutes.

### 5.4.3. Schools

The Aromas-San Juan Unified School District (USD) provides elementary, middle, and high school services to the project area. San Juan School (grades K-8), located at 2000 San Juan Highway, approximately seven miles south of the site, and Anzar High School (grades 9-12), located at 100 Nyland Drive, approximately four miles west of the site, would accommodate students from the project area. Because of the age-restricted nature of most of the units, it is not anticipated that the project would generate many students who would need to be served by local schools.

The School Facilities Act of 1998 (also known as Senate Bill [SB] 50), provides state funding for new school construction projects that can satisfy certain criteria for such funding, including eligibility due to growth, with Division of State Architect plan approval. However, the Act also dramatically limits the maximum amount of impact fees, which can be charged by school districts as mitigation for new residential, commercial, and industrial construction. The Act also prohibits local agencies from denying a development application on the basis of a person's refusal to provide school facilities mitigation that exceeds the fee amount and refusing to approve any legislative or adjudicative act on the basis that school facilities are inadequate.

The Applicant will be required to pay the state-mandated school facilities fees as required under applicable law.

### 5.4.4. Solid Waste Management

Recology San Benito County is the Exclusive Franchise Company that services most areas for solid waste and recycling within San Benito County including the project site. Garbage and green waste and recyclables collection service is currently and will continue to be collected once a week, at curbside.

Waste from the project will be disposed at John Smith Road Landfill, an approximately 90-acre landfill (58 acres of which are disposal area) located at 2650 John Smith Road, approximately eight miles east of the site. John Smith Road Landfill is a Class III landfill, and does not accept

hazardous waste. It has a maximum permitted capacity of 9,354,000 cubic yards, and has sufficient capacity to accommodate waste from the project.

To assist in reducing waste, the Applicant shall do the following:

- Construction contractors shall provide recycling bins for glass, metals, paper, wood, plastic, green wastes, and cardboard during construction.

Building materials shall be made of recycled materials, to the greatest extent practicable.

# 6

## **PARKS, OPEN SPACE & LANDSCAPING**

This chapter identifies the goals and design concepts for the neighborhood parks, amenity center, golf course and clubhouse, and open space areas. It also includes a discussion of the landscaping principles and planting guidelines for all landscape zones through the Specific Plan area.



The recreational needs of active adult communities differ from the needs of conventional communities. Conventional communities have residents of all ages and recreational uses that cater to various demographics. Demand for active recreational uses (e.g., playgrounds and sports fields and courts) outweigh the demand for passive recreational uses (e.g., nature preserves, view areas, and trails).

Active adult communities have a greater demand for passive recreational uses, with an emphasis on access, efficiency, comfort, and negotiability. Instead of larger sports fields and similar uses, active adult communities include smaller-scale facilities that are aesthetically pleasing and promote leisure and fitness tailored to the specific age group.

Proposed recreational opportunities in the Specific Plan area include both active and passive recreation, including:

- Neighborhood parks
- Amenity center with indoor and outdoor swimming pools, tennis courts, bocce ball courts, pickle ball courts, and barbeque and eating spaces
- Golf course and clubhouse
- Walking, jogging, and bicycling on sidewalks, trails, bike lanes, and bike paths

Several of these opportunities will be available to residents of the active adult community and their guests through participation in the active adult community home owners association (AHOA), while other uses are open to the public.

Recreation and open space areas include the following land use districts:

- Amenity Center (AC)
- Parks (P)
- Golf Course & Clubhouse (GC)
- Open Space Common Area (OS)
- Permanent Wildlife Habitat (WH)

These areas are designed to create vital spaces that promote physical and social health and foster community cohesion. The recreation and open space system, combined with the circulation network, create a well-connected and diversified system that responds to the needs of a wide range of users.

### 6.1. Recreation and Open Space Goals

The following recreation and open space goals shall apply to the development of parks and recreational facilities and the provision of open space within the Specific Plan area:

- Provide sufficient recreational facilities and programs for residents of the Specific Plan area.
- Provide a combination of passive and active recreational opportunities that meets the needs of residents and guests.
- Design neighborhood parks, the amenity center, and open space system to create and reinforce a sense of community identity and character for the Specific Plan area.
- Create active, efficient, and inviting recreational facilities and open space areas.
- Create a network of accessible connections via streets, sidewalks, bike paths, and natural systems to provide greater opportunities for non-vehicular circulation

## 6.2. Proposed Parks

Both the 1985 San Benito County's General Plan and Parks & Recreation Facilities Master Plan require five (5) acres of parkland per 1,000 residents. Based on a projected population of 1.67 per household for the active adult community (1,017 units) and 3.51 per household for the conventional housing (67 units), the Specific Plan area is expected to accommodate approximately 1,934 residents. Thus, a total of 9.7 acres of parkland would be required. Publicly accessible parkland includes two community parks totaling 16.8 acres.

### 6.2.1. Community Parks

Two Community Parks (16.8 acres total) are proposed for the project site. Both parks will provide passive recreation amenities to all residents of San Benito County and visitors alike.

A 13 acre Community Park is proposed on both sides of San Juan Oaks Drive near the intersection of Union Road. Located on hillsides with existing organic olive orchards, Olive Hill Park East and West will include a series of walking trails, hilltop sitting/picnic areas (affording views of the surrounding valley), a gravel parking lot, and an at-grade pedestrian crossing over San Juan Oaks Drive to connect the two park areas.

Further south on San Juan Oaks Drive, a 3.8 acre Community Park is proposed and will include a separated small- and large-dog park, an adult fitness area, a tot lot, picnic and fire pits, restroom facilities, and a small parking lot. This park will also include a community garden with garden plots that can be rented by County residents as well as for urban agricultural programs.

Both Community Parks would be constructed by the project Applicant and owned by the County. Maintenance would occur and be funded by either the AHOA or through the formation of a community facilities district (CFD). Conceptual site plans for both parks are shown in [Figure 6-1: Community Park Conceptual Site Plans](#). These site plans were approved by the San Benito County Parks & Recreation Commission on March 10, 2015



Figure 6-1a: Community Park Site Plans – Olive Hill Park



**Park Summary:**

Olive Hill Park West	± 6.6ac
Olive Hill Park East	± 6.4ac
<b>TOTAL</b>	<b>± 13.0ac</b>
Trail Length - Olive Hill East	2,900 l.f.
Trail Length - Olive Hill West	1,300 l.f.
<b>TOTAL</b>	<b>4,200 l.f.</b>

Figure 6-1b: Community Park Site Plans – Community Garden & Dog Park



### 6.2.2. Neighborhood Parks

The four neighborhood parks totaling 6.6 acres will be constructed within the active adult community and are intended to serve residents and their guests. Neighborhood parks will include passive uses such as picnic areas, pathways for walking and bicycling, nature areas, sitting areas, and informally landscaped visual areas. These parks are designed and landscaped for the benefit of adjacent neighborhoods with the intent to provide amenities that are within easy walking distance (10 minutes or less) for its residents.

Functionally, these neighborhood parks will accommodate dual use as open detention/retention areas to control storm flows through the community. Landscaping in these areas will reflect a natural riparian character in both plant material and informal style design. Portions of neighborhood parks may also be designed to allow such uses as picnicking areas, community vegetable and flower gardens, arbors, promenades, landscape sculptures, fountains or other aesthetic water features.



### 6.3. Amenity Center

For many residents of the active-adult community, the Amenity Center will be a central “focal point” and gathering area where neighbors can come together to enjoy a wide variety of activities. Located adjacent to Del Webb Boulevard, the Amenity Center will be located at the southern edge of the residential community, affording views of the hillsides, Fremont Peak State Park and the agricultural valley landscape.

The main building will be 17,500 to 25,000 square feet and host a number of facilities including a multi-purpose room for community events (e.g., dances), a fitness center, a craft room, locker rooms, and administrative spaces. A separate covered swimming pool will be constructed adjacent to the main building.

Outdoor uses may include an outdoor swimming pool, tennis courts, pickle ball and or bocce courts, and barbeque and eating spaces.

The Amenity Center will be linked to the rest of the project site through pedestrian, bicycle and golf cart path connections. It will be operated by the AHOA for the use of AHOA members and their guests.





### 6.4. Golf Course and Clubhouse

The existing San Juan Oaks Golf Club is a privately owned golf club that is open to the public. It is California’s first Fred Couples Signature Golf Course. The following amenities are included:

- 18-hole golf course
- Clubhouse
- Golf shop
- Restaurant
- 15-acre golf learning center with:
  - All Grass tee area
  - Full length driving range with target greens
  - Chipping green and Sand bunkers
  - 10,000 square foot putting green
  - Separate 60-yard teaching area

No major improvements are proposed for the golf course and clubhouse.



### 6.5. Open Space Common Area

Open Space Common Area refers to open space land that is located within the active adult community. It will consist of landscaped areas with informal trails in some areas and “natural” style planting design. These areas will also be potentially used for stormwater biofiltration and storage. These areas also include existing and proposed drainage channels that convey existing stormwater flows through the project. The project will utilize low-impact development measures and sustainable practices such as recycled water for irrigation and drought-tolerant plant materials.

The landscape elements – planting, lighting, fencing, walls, etc. – for the various areas of the site will be designed to reflect the character of this region in San Benito County, with special attention to the “early California” and natural rural look that gives the area its distinct and informal identity. For this, as well as conservation and functional reasons, planting options will emphasize drought-tolerant, hardy materials and compatibility with existing surrounding native and adaptive plants in that region.

The landscaping will seek to achieve a balance between “natural” open space landscaping, designed to blend into existing surroundings, and more structured landscape elements – such as streetscape trees, project entry statements, and the project amenity center – that are part of the interior character of the urban community. However, all of these areas, both natural and more formal, will be compatible with each other in form, color, materials, and theme.

Land within the Open Space Common Area will be owned by the GHAD with portions maintained by the AHOA.





## 6.6. Landscaping

Landscaping throughout the project site will constitute a critical and defining component in the effort to create a new community that is compatible with the character, principles, and goals of this region of San Benito County. The 2004 San Juan Oaks Golf Club project vesting tentative map conditions of approval from the County include several conditions and standards for landscaping, many of which deal with the appearance, nature, and water conservation measures required for the project at that time. It is the intent of this Specific Plan to maintain consistency with the general goals and principles of those conditions, even though this Specific Plan represents a revised plan and new project application.

### 6.6.1. Landscaping Goals

- A community landscape, lighting, fencing and signage program that is consistent with the informal character and overall historical themes of the local and regional area;
- A planting and irrigation program that employs water conservation measures through use of drought-tolerant plant material and water conserving irrigation systems and practices;
- A landscape program that reinforces the principles of Low Impact Development (LID) for storm drainage, water infiltration and groundwater recharge for the project;
- A planting and irrigation program that appropriately creates fire protection setback areas as a buffer to protect development;
- A landscape program of design and maintenance whose visual quality enhances the community image and attracts new residents and visitors;
- A landscape program that appropriately screens parking lots, trash enclosures, delivery areas, equipment buildings, and other similar elements from public views;
- A landscape plan for parks and recreation areas that provides appropriate activities and facilities consistent with the active adult population that will live in the community;
- A landscape plan that preserves and/or replaces existing significant trees in accordance with County standards and requirements;
- An environmental program that either avoids or re-vegetates any riparian and/or wetland areas that require buffering from development.



### 6.6.2. Sustainable Landscaping Principles

Landscaping will be planned, designed, and implemented to achieve results that reflect intelligent sustainable practices. Prudent landscape design and implementation results in reduced energy consumption, reduced greenhouse gas emissions, and increased success for built landscape environment to functionally and ecologically sustain itself better than more conventionally designed landscape methods.

#### Landscape Character and Theme

Landscaping will be designed to reflect the environment and character of this region in San Benito County, with special attention to the “early California” and natural rural look that gives the area its distinct identity. Landscaping will achieve a visual balance between informal open space landscaping and more formal landscape elements (e.g., street trees, project entry statements, and within the Amenity Center) that are part of the character of the Specific Plan area.

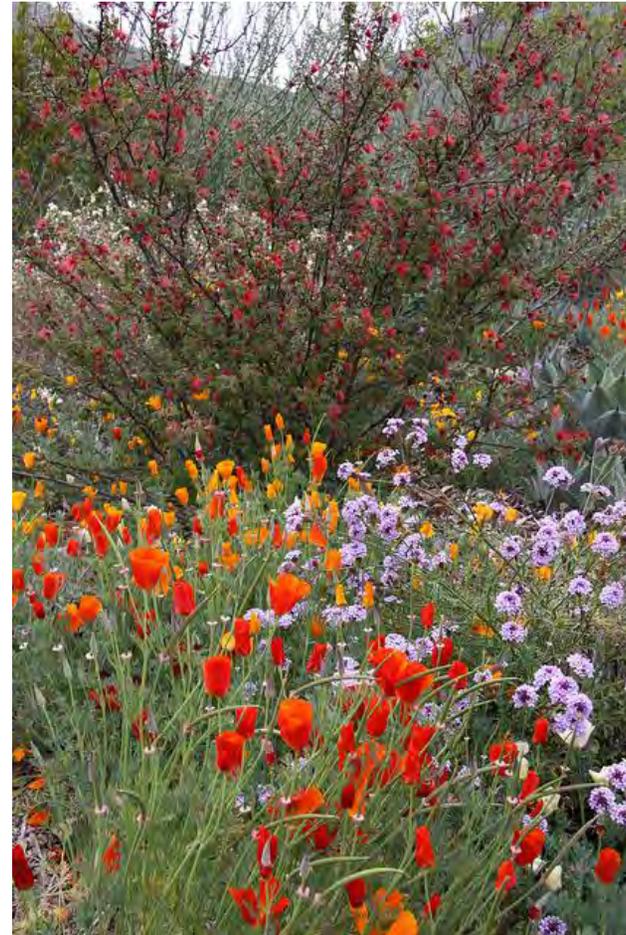
#### Water and Energy Efficient Landscaping

The County of San Benito adopted the 2010 California Green Building Standards Code (California Code of Regulations, Title 24, Part 11), also known as CALGreen. Subsequently, the County drafted a Water and Energy Efficient Landscape Ordinance (San Benito County Code Chapter 25.30). This ordinance describes landscape design standards for new projects that minimize water use, eliminate water waste, and maximize energy efficiency in new and rehabilitated landscape areas by requiring low water landscape plantings and irrigation methods.

Landscape plans (planting, irrigation, energy efficiency and lighting) for this project shall be consistent with the San Benito County Water Conservation Plan (including future amendments) and the guidelines described in California Assembly Bill 1881. Additionally, the project shall be consistent with Governor Jerry Brown’s Executive Order B-29-15 which, in particular, prohibits new homes and developments from irrigating with potable water unless water-efficient drip irrigation systems are used, and ban watering of ornamental grass on public street medians.

#### Water-Conserving Plant Materials

Proposed plant materials will conform to the San Benito County Water Conservation Plan standards and also be based on the Department of Water Resources (DWR) “Water Use Classification of Landscape Species” (WUCOLS) guide, emphasizing use of both native and adaptive species of trees, shrubs, and ground cover. “Low” to “very low” water demand, hardiness, functionality, and aesthetics will govern the selection of plant material to be incorporated into the landscape palette.



### Lawn and Turf Area Reductions

While it is acknowledged that lawn and turf areas are necessary for certain active recreational and aesthetic purposes, use of turf areas will be restricted to minimal areas to reduce irrigation water and energy usage. If an area is intended for active pedestrian use, then lawn and turf may be used. In areas that will not receive active foot traffic, such as along major streets or other common planting areas, native or adaptive grasses, drought-tolerant trees, groundcovers, and shrubs will be used.

Turf plantings in residential lots will be restricted to a maximum of 25 percent (or less) of each lot's landscaped area.



### Water-Conserving Irrigation

Irrigation methods and water budgets will follow the County's Water Conservation Plan's Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU) guidelines, together with guidelines from Assembly Bill 1881 in order to create a framework for landscape water conservation. Irrigation designs and practices will employ low-flow, water-efficient spray heads and emitters wherever practical, and use temporary, removable irrigation equipment in areas where natural plantings may be "weaned" off of artificial irrigation once established.

### Recycled Water Use

If and to the extent available in the future, a portion of the total project non-potable water demand could be met with recycled water. As shown in [Figure 5-2a: Proposed Recycled Water System](#), recycled water may be used to satisfy non-potable irrigation demands associated with the amenity center, neighborhood parks and open space common areas within the active adult community, as well as the resort hotel and golf course. Some blending of recycled water with either CVP imported water or groundwater may be necessary to meet the water quality needs of these irrigated areas.

### Low Impact Development

The landscape program will, to the extent practical, reinforce the principles of low impact development (LID) for storm drainage, runoff infiltration and groundwater recharge for the project by such measures as: (1) management of rainfall at the source of a site's predevelopment hydrology by using landscape design techniques and materials that infiltrate, filter, store, evaporate, and/or detain runoff as close to its source as feasible, and (2) storm water capture through small, cost-effective landscape features located at the site level. This may include not only natural open space, but also streetscapes, parking lots, sidewalks, parks, hardscape areas, and medians.

### Fire Protection

The planting and irrigation program will appropriately create fire protection/fuel modification setback zones to buffer homes and buildings from dry open hillsides and wooded areas. These buffer zones will consist of permanently irrigated tree, shrub, and/or ground cover plantings that exhibit fire resistant qualities.

Though no plants are fully fireproof, some can retain moisture more effectively, even in dry areas, and are called “fire resistant.” Even some California native plants that are drought-tolerant are also fire resistant and have wildlife value. These are the types of plants that are often listed as acceptable to plant in several fuel modification zones in California.

### Heat Island Mitigation

Parking lot and other potential “heat islands” will be mitigated by trees, vegetation, and other landscape screening/shading devices to (1) reduce heating and cooling energy use, filter air pollution and greenhouse gas emissions, (2) remove air pollutants, sequester and store carbon, help lower the risk of heat-related illnesses. Likewise, appropriately selected street trees for local streetscapes will create shade and accomplish similar energy-saving results within the project. [Section 3.6.3: Parking Lots](#) provides additional guidelines for parking lot landscaping.

### Strategic Climate Control

Use of strategic shading techniques, plant selection, location and deciduous tree species in the landscape as appropriate to reduce solar heat gain in the summer and maximize passive solar warming in winter months. Careful and strategic planting and landscape structural shading will be encouraged around buildings and other project areas to either (1) create south and west-facing shade during hot seasons or (2) allow sunlight in during cool seasons. These measures can result in natural saving of energy through site design and prudent landscape planning.

### Bikeways, Trails and Pathways

Provision of a network of quality pathways throughout a project can stimulate more walking and biking, thereby reducing vehicle miles traveled and conserving energy resources. Design and construction of pedestrian and bicycle paths must be tailored to be compatible with the area in which they are placed and will emphasize minimum impact in sensitive open space portions of the project site.



### Preservation and Restoration

A “green” or sustainable project includes a landscape environmental program that either avoids or re-vegetates riparian and/or wetland areas that require restoration or preservation. Both avoidance (e.g., wetland area on the northeast corner of the active adult community) and re-vegetation (e.g., the east-west drainage channel running along the northern boundary of the active adult community) will be measures employed as appropriate and necessary for landscape sustainability within the project site. While the existing site development area is mostly flat agricultural land and open grassland, there are 42 existing Valley Oak trees (*Quercus lobata*) within the Del Webb portion of the property, as identified by a site investigation and report by a certified local arborist. Further assessment and evaluation of these individuals, and the preservation of healthy and viable specimens, will be an important objective for this Specific Plan. A certified arborist shall be commissioned to:

- Confirm the species of each tree.
- Examine each tree and evaluate its health.
- Rate each tree’s health and structural integrity, and assign an overall condition (e.g., good, fair, poor or dead).
- Determine each tree’s suitability for preservation (e.g., good, moderate or low), as well as its potential for hazard.
- Provide guidelines for designing around trees being retained and protected, including barriers to protect drip line/root zone of trees, restricting irrigation practices and drainage that might endanger trees, and prescribe other procedures and practices that will give the trees opportunity for continued survival and health as featured elements of the landscape community.

Subsequent project construction will then be tailored to acknowledge the recommended procedures by the arborist and work with local agencies and authorities to save and maintain the designated preserved trees on site as far as practicable.

All other trees on site will also be protected, consistent with applicable County tree protection regulations.

### Aesthetics and Identity

The project’s landscaping will also emphasize design that establishes a strong identity and character of quality and distinction that typifies a high quality Del Webb community. This includes such components as streetscapes, street and park furniture, fences and walls, project entry features, plant selection, distinctive focal features, thematic street lighting, screening/mitigation of undesirable views, monumentation/entry structures, street directional and identification signage, and other elements associated with tasteful landscape aesthetics.



### 6.6.3. Landscape Master Plan

As a component of the final subdivision map for each project phase, the developer shall prepare a landscape master plan for that phase to be submitted to the Director of Planning & Building Inspection Services for approval. This plan shall govern the landscape portion of development and shall be consistent with the landscape guidelines and standards contained herein. The landscape master plan may also function as a preliminary landscape plan prior to the production of landscape construction documents. The landscape master plans shall include:

- Layout and dimensioning of paved landscape features, patios, recreational courts, swimming pools, and play areas on the site
- Plant list of Primary, Secondary, and Accent trees
- Plant list of shrubs and ground covers
- Preliminary Planting Plan
- Preliminary Irrigation Plan
- Landscape Lighting
- Landscape furniture, manufacturer, model, and preliminary placement
- Fencing and wall design
- Project entry features/structures
- Project signage program
- A water conservation budget that conforms to the San Benito County Water Conservation Plan, including calculations to demonstrate the project's maximum allowable water budget (MAWB)

#### County Review and Approval

Landscape/tree plans shall be submitted to the Director of Planning & Building Inspection Services for review and approval along with road grading plan.

### 6.6.4. Landscape Treatment and Design

The landscape elements (planting, lighting, fencing, walls, etc.) for the various areas of the Specific Plan area will be designed to reflect the character of this region in San Benito County, with special attention to the early California and natural rural look that gives the area its distinct and informal identity. For this, as well as conservation and functional reasons, planting options will emphasize drought-tolerant, hardy materials and compatibility with existing surrounding native and adaptive plants in that region.

The proposed landscape seeks to achieve a balance between natural open space landscaping (designed to blend into existing surroundings) and more structured landscape elements (such as streetscape trees, project entry statements, and the project amenity center) that are part of the interior character of the urban community. However, all of these areas, both natural and more formal, must be compatible with each other in form, color, materials, and theme.

While turf areas will be necessary for certain recreational and aesthetic functions within the site, strict limits will be placed on the proportion of these areas that will be permitted in the project. Permitted plant materials will conform to the San Benito County Water Conservation Plan and will be based on the Department of Water Resources (DWR) Water Use Classification of Landscape Species (WUCOLS) guide, specifying both native and adaptive (i.e., not necessarily native, but exemplifying characteristics and tolerances similar to natives) species of trees, shrubs, and ground cover.

Irrigation methods and water budgets will reference the Water Conservation Plan's maximum applied water allowance (MAWA) and estimated total water use (ETWU) guidelines to create a framework for landscape water conservation. Landscape designers will be encouraged to develop plans that require even less water than the project's MAWA, wherever possible. Reclaimed ("purple pipe") irrigation water will constitute a major element in the landscape maintenance program for this project if reclaimed water is available to the project. [Chapter 5: Infrastructure and Public Services](#) includes further discussion of this element.

Walls, pilasters, fences, shade structures, overheads, and other landscape structural elements, will be designed to reinforce and compliment the architectural styles for homes and other buildings, as well as the overall community themes.

### 6.6.5. General Landscaping Guidelines

#### Planting

- Plant selections shall reference the Department of Water Resources (DWR) "Water Use Classification of Landscape Species" (WUCOLS) guide, encouraging use of both native and adaptive species of trees, shrubs, and ground cover. "Low" to "very low" water demand, hardiness, functionality, and aesthetics will govern the selection of the majority of plant material to be incorporated into the project Plant List.
- Selected plants shall not cause the estimated annual applied water use to exceed the Maximum Applied Water Allowance--MAWA (see Irrigation Section 3.3.2 below).
- Plants with similar water use needs shall be grouped together in distinct hydrozones, and where irrigation is required the distinct hydrozones shall be irrigated with separate valves.
- Low and moderate water use plants can be mixed, but the entire hydrozone shall be classified as moderate water use for Maximum Applied Water Allowance calculations.
- High water use plants shall be discouraged and, where use is necessary, shall not be mixed with low or moderate water use plants.
- All non-turf plants shall be selected and planted appropriately based upon their adaptability to the climatic, soils, and topographical conditions within the project site.

#### Turf Areas Limited

- Turf shall not be planted in the following conditions:
  - Slopes exceeding ten (10) percent.

- Planting areas four (4) feet wide or less.
- Street medians, traffic islands, planter strips, bulb-outs of any size, or other areas where foot traffic is not expected.

- Turf areas shall be limited to areas of lawn that are necessary for certain active recreational purposes and active pedestrian use, such as parks, the Amenity Center, and pedestrian corridors. In areas that will not receive active foot traffic, such as along major streets or other common planting areas within the project, these should, for the most part, rely primarily on native or adaptive grasses or drought-tolerant trees, groundcovers, and/or shrubs.
- Within individual residential lots and other landscaped projects, use of turf shall be limited to an aggregate area no greater than 25% of the total planted area within each lot or parcel.

#### Invasive Plants

- Known invasive plants (as identified in the WUCOLS planting guide) are prohibited.
- Where trees are planted adjacent to paving (sidewalks, parking areas, etc.), consideration shall be given to selection of trees with non-invasive surface roots, and for trees that are selected, provisions shall be made to install root guards or equivalent devices to protect paving.

#### Minimum Planting Sizes

- Trees: minimum 15-gallon size
  - Exception for street trees: minimum 24-inch box
  - Exception for bio-retention and other natural areas, certain tree plantings (native willows and other species): may be limited to liner plantings or other smaller container sizes.
- Shrubs: minimum 2-gallon size
  - Exception for prominent areas (project entries, amenity center, parks, etc.): minimum 5-gallon size

- Groundcover: minimum 1-gallon size, spaced to attain full coverage within 3 years
  - Exception for bio-retention and other natural areas: certain native and adaptive species may only be available and appropriately planted from liners/sprigs.

### 6.6.6. Landscape Zones and Conditions

The Specific Plan area includes a variety of site conditions which require different approaches to landscape design and implementation. Therefore, different landscape areas with basic “zone types” (each with its own set of conditions and special requirements for landscape treatment) have been established. Treatment of these zones may range from restoration or preservation of a natural existing open space to a more ornamental urban design approach with formal plantings, hardscape, and recreation features.

Guidelines for each landscape treatments within each zone will be described in this section. [Figure 6-1: Landscape Zones](#) identifies the location of each landscape area. [Table 6-1: Landscape Zones](#) identifies specific landscape type designations, site characteristics, and new design and irrigation treatments.

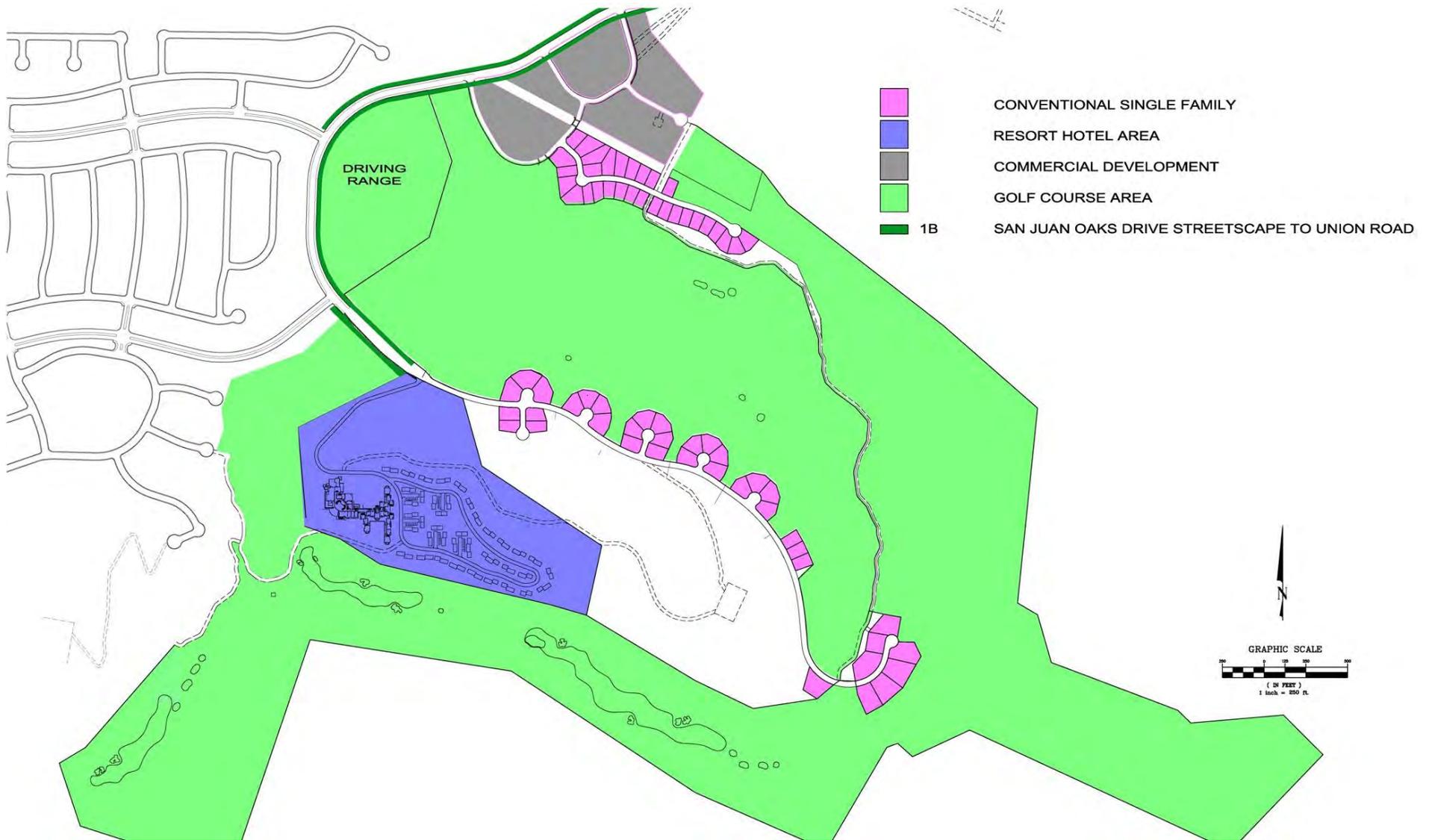
The following sections include more specific descriptions of each landscape zone and guidelines for landscape treatment of these zones. These descriptions are divided into the following main categories:

- Streetscapes
- Natural Landscape and Preservation Areas
- Community Amenity and Recreation Areas
- Residences
- Commercial Area

Figure 6-1a: Landscape Zones



Figure 6-1b: Landscape Zones



**Table 6-1: Landscape Zones**

Zone	Zone Name	Landscape Type	Site Characteristics	New Landscape Design Treatment	Irrigation Treatment
1A	San Juan Oaks Drive (at Union Road) to Del Webb Entry	Semi-Natural / Rural <sup>1</sup>	Existing orchards, fields, greenhouses groves of trees, golf course and clubhouse adjacent to roadway	Creation of a semi-natural, rural type drive, with "country style" rail fencing, supplemented with "random" clusters of native oak and other trees consistent with existing; inclusion of multi-use path from residences to commercial center; introduction of period-style street lamps that mimic the "early California" theme.	Temporary, till plants are established
1B	San Juan Oaks Entry at Union Road	Formal <sup>2</sup>	Existing golf course entry feature and landscape plantings	New redesigned and upgraded entry identification feature, with upgraded plantings	Permanent emitter system
2A	Collector Roads (Del Webb Boulevard and Goldeneye Road)	Semi-Natural / Rural <sup>1</sup>	Graded roadway with meandering walkway and broad informal landscape buffers on each side	Carefully crafted and designed upscale plantings, street furniture, and other features as the main marketing "window" and framework of the Del Webb community	Permanent emitter system
2B	Del Webb Entry	Formal <sup>2</sup>	Main Del Webb marketing entry at San Juan Oaks Drive	New Del Webb identification entry feature and upscale landscape treatment with signage; integration of storm management features	Permanent emitter system
3	Local Streetscapes	Formal <sup>2</sup>	Graded local streets with sidewalks	Residential front yard plantings to create formal tree-lined, "themed" streetscapes integrated with other front yard landscaping by developer	Permanent emitter system
4	North Drainage Channel / Other Open Space Corridors and Drainage Areas	Natural <sup>3</sup>	Regraded drainage ditch and new detention areas; graded storm drainage swales/ditches along roads, rear-lot open spaces, and other residual graded open spaces	Rural/natural informal hydroseed and container planting program, with screening windrow of upright evergreen trees along north channel; intent is to create an informal natural theme using drought-tolerant native and other adaptive species	Temporary, till plants are established
5A	Amenity Center	Formal <sup>2</sup>	Community recreation area with main recreation building, outdoor recreation areas, and parking area	Recreation facilities, building foundation plantings, entry treatment, recreation fields and courts, open passive areas, swimming pool, gardens, walks and patios, parking "heat island" mitigation	Permanent emitter and spray system
5B	Resort Hotel	Semi-Natural / Rural <sup>1</sup>	Rolling hills adjacent to the golf course, to be graded for resort facilities	Semi-formal plantings in and around buildings and recreation facilities; informal natural/rural landscape theme in the open spaces of the hotel perimeter	Combination of permanent emitter / spray irrigation with temporary system in natural areas
6	Pocket Parks	Formal <sup>2</sup>	Small pocket parks, neighborhood central parcels, drainage channeled under circular roads and through parks	Creation of strong visual focal features, given central location and circular configuration of parks with relation to neighborhoods; incorporation of open "natural" drainage elements integrated with park uses	Permanent emitter and spray system
7	Hillside Open Space / Other Preservation Areas	Natural <sup>3</sup>	Existing natural hills/slopes, existing tree cover, annual grasses, existing dirt roads	Preservation of existing trees, new trail design and treatment for pedestrian recreation and wildlife habitat; incorporation of irrigated fire buffer edge zones	Permanent in Fire Fuel Modification zone; otherwise, none elsewhere

Zone	Zone Name	Landscape Type	Site Characteristics	New Landscape Design Treatment	Irrigation Treatment
8	Model Homes	Formal <sup>2</sup>	Designated showcase homes for models	Front and rear yard designs with upscale landscape treatment as "demonstration landscaping"	Permanent emitter and spray system
9	Production Homes (Front Yard)	Formal <sup>2</sup>	"Typicals" for all homes within a particular phase	Front yards only--typical landscape designs for a designated number of homes that will be extrapolated throughout the neighborhoods	Permanent emitter and spray system
10	Conventional Single Family Estate Homes	Semi-Natural / Rural <sup>1</sup>	Market-rate large-lot homes	Sustainable, tasteful landscape treatment by homeowner	Permanent emitter and spray system
11	Retail Commercial	Formal <sup>2</sup>	Buildings, parking, and planting areas	"Heat island" parking lot mitigation; aesthetic treatment of buildings and other open spaces	Permanent emitter system

Notes:

- (1) "Semi-Natural / Rural" refers to an informal, less geometric, 'country style' design treatment.
- (2) "Formal" refers to a more structured, more ornamental treatment, as opposed to a treatment meant to convey a more random, less-designed, appearance.
- (3) "Natural" refers to treatment meant to mimic or replicate the undeveloped, natural condition of the particular site.

### 6.6.7. Streetscapes

#### Zone 1A: San Juan Oaks Drive

The existing character of San Juan Oaks Drive is rural, informal, and casual. Additional landscape design shall reflect the same informal look. The views and streetscapes from Union Road to the golf clubhouse, transitioning from orchard hillsides, wooded canopies, and agricultural fields to rows of greenhouses, open grassland, and mountain vistas. Oaks and sycamore trees, planted as streetscape elements over 17 years ago, line the street with a more mature canopy.



#### *Streetscape Planting*

This streetscape shall consist of supplemental plantings of live oak trees of similar shape and character and consistent with or complementary to the existing tree species along the roadway. Other accent trees, drought-tolerant shrubs and/or groundcover may be used in key locations to add color, texture, interest, and definition to the street and bike path; however, these supplemental plantings shall be designed to preserve the informal rural character of the existing streetscape.

Plant selections shall emphasize drought-tolerant species and may not necessarily require permanent irrigation support, but may be watered with a temporary system until new plants are established. Street trees shall be planted from a minimum initial container size of 24 inch box, and all shrubs shall be planted from minimum initial container size of 5 gallon.

#### *Fencing/Barrier*

A low split-rail fence placed near the pavement edge may be installed along portions of the roadway north of the existing bridge to: (1) provide a barrier to vehicle parking on this “no-parking” street; (2) define and limit the points of side entry onto San Juan Oaks Drive by agricultural and other local vehicles; (3) further reinforce the separation of pedestrians/cyclists from motor vehicles; and (4) add a rustic element to the entry drive. Exact fencing locations and segments shall be determined and identified at the first phase of the final subdivision map for Phase I. Planting flowering shrubs or vines on the fence may enhance the entry experience.



**Zone 1B: San Juan Oaks Main Entry**

The existing project entry feature will be replaced with an updated entry identification feature that reflects the new land uses and active adult community. The entry feature shall be designed and constructed to reflect early California shapes, colors, landscaping, and theme. Structural materials may include thematic elements such as Spanish barrel roof tile, white Spanish textured masonry walls and decorative inset circles. Materials should emphasize predominantly earth tone colors. Brighter colors may be used but should be limited only to accents (e.g., lettering, border accents, and icons) and should complement the entry theme.

A similar signage treatment will be utilized along Highway 156 at two locations within existing easements to help orient visitors to the project site. The location of these two new signs will be located so as to avoid conflicts with the planned Caltrans 156 project.

Preliminary designs for both the entry and along Highway 156 are shown in Figures 6-2a: Entry Sign (Union Road at San Juan Oaks Drive) and Figure 6-2b: Entry Sign (Highway 156).



Figures 6-2a: Entry Sign (Union Road at San Juan Oaks Drive)

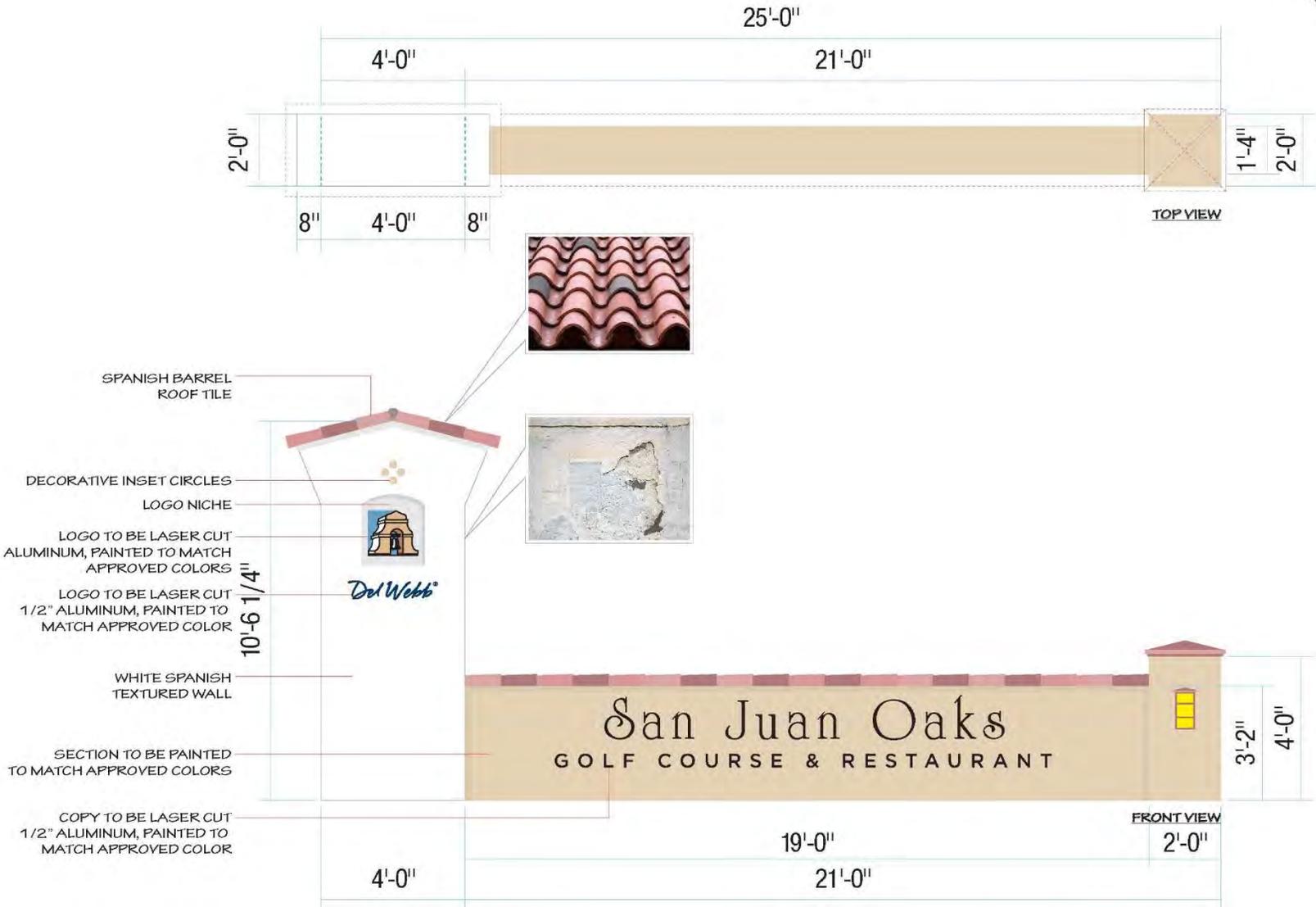
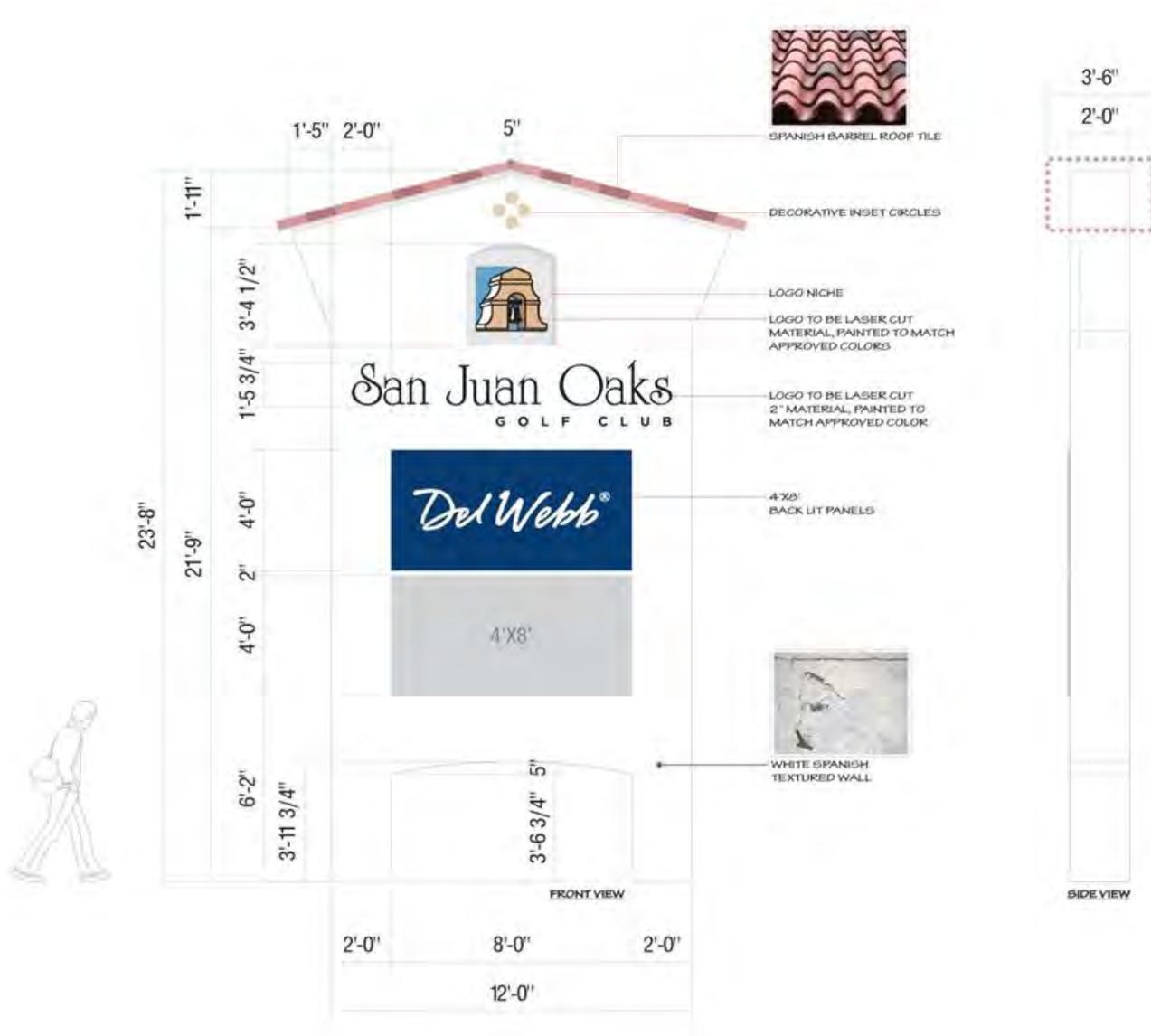


Figure 6-2b: Entry Sign (Highway 156)



**Zone 2A: Collector Roads**

Del Webb Boulevard will be the most prominent theme-creating streetscape within the active adult community. It will be characterized by informal groupings of evergreen and deciduous trees, with drifts of textured shrubs and groundcovers. Contrast in texture, color, and size will be reflected in the landscaping. Goldeneye Road should reflect a continuation in theme and landscape style of the Del Webb Boulevard.

The use of turf as groundcover is not appropriate along these streets. Instead, native and natural grasses and sedges should be used.

*Primary Trees*

Clusters of large, deciduous canopy trees will form the main tree theme for collectors. Primary Street Trees shall be:

- The dominant element on this streetscape
- Planted from a minimum 24 inch box container
- Planted in informal clusters, set back from the curb far enough to accommodate ultimate growth
- Drought-tolerant when established

*Secondary Trees*

Planted to complement primary trees and add interest and diversity, secondary trees shall be:

- Planted in informal fashion in and around primary trees as determined by space and tree species
- Both evergreen and/or deciduous, upright or spreading
- Distinctive in form and/or color; if not coniferous preferably exhibiting seasonal flowering
- Complementary to the form and character of the primary street tree (note: this can mean a tree having contrast from the primary tree for accentuation)
- Planted from a minimum 15-gallon container

- Spaced on-center at a distance appropriate to the species (if clustered)
- Drought-tolerant when established

*Entry Medians*

Planted to emphasize project entry statement and to slow traffic down at entry, entry medians shall conform to the following:

- Plant in formal colonnades of trees
- Consist of secondary street trees spaced a maximum 25-foot on-center, planted on the center line of the median
- May include one other accent tree type in combination with the predominant median tree to provide visual interest
- Combine groundcover and shrubs that provide seasonal flowers or leaf-color variation and texture incorporated into median landscaping
- Groundcover and shrubs shall not exceed 30 inches in height, or as required by the Public Works Department to maintain vehicular sight lines
- Hardscape material (decomposed granite, stone, etc.) may be used to break up the plantings, add visual interest, and provide attractive ground plane treatments to minimize water use
- The use of lawn/turf in medians is prohibited

Some areas may also contain isolated native oaks or other elements to be preserved. For these instances, refer to the Preservation Areas section.



*Drainage Swales*

Stretches along collector road parkway greenbelts will be used for open bio-swale drainage conveyances and will be integrated into the open space corridors with landscaping as described in Zone 4. The developer and landscape architects shall work with the appropriate public agencies to design a system that is both functional and that reinforces the informal, natural character intended for the streetscape.



*Sound Walls*

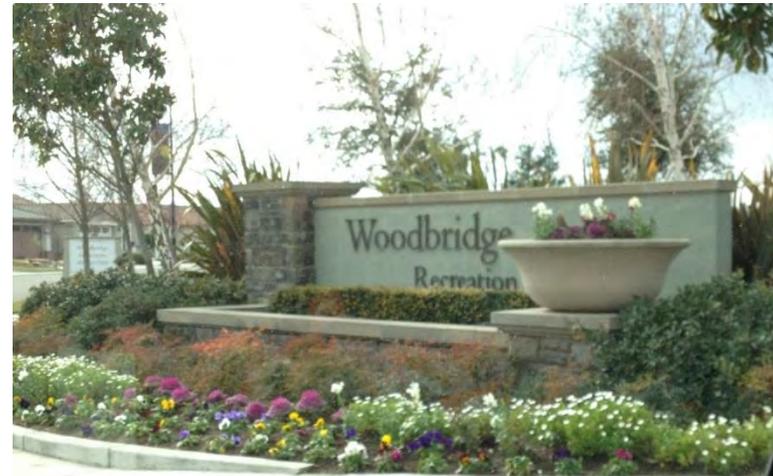
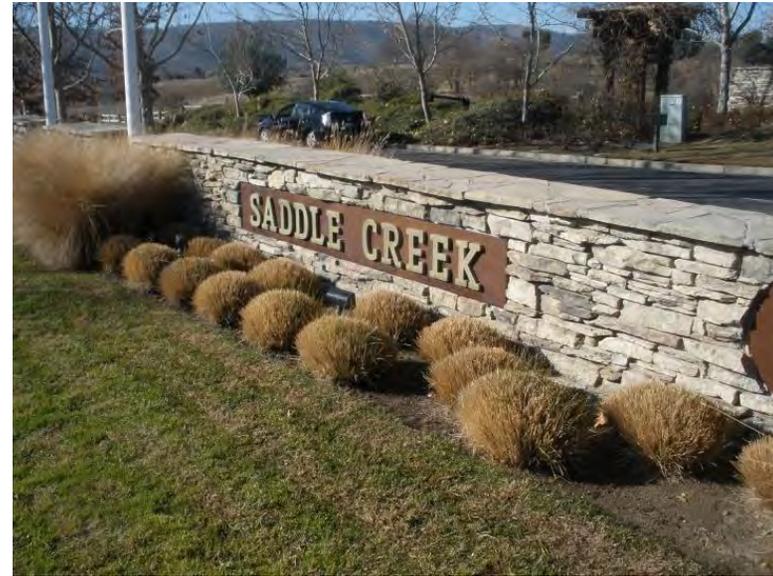
Hedge plantings, upright evergreen trees, and/or vines shall be provided to enhance sound walls along collector roads. [Section 3.1: General Design Guidelines](#) provides additional information on fences and walls.

### Zone 2B: Del Webb Entry Feature

This feature, located at the southern intersection of San Juan Oaks Drive and Del Webb Boulevard, will be the signature entry identifier for the active adult community. Structural signage design and associated materials shall reflect the early California theme, consistent with other parts of the community, but may have a unique identity to distinguish the active adult community from other areas within the Specific Plan area. Fountains or other water features may be incorporated into the entry design, but are not mandatory.

Planting should include primary elements of valley oak trees to reflect the thematic image of the community. Accent trees used should have distinguishing flower and/or foliage color. Accent shrubs, groundcovers, and colorful annuals should create a pattern around the signage that focuses attention on the entry feature.

Portions of this entry will also be used as an element in the hydrologic stormwater management system of the overall community. The elements of this drainage system shall be appropriately and artistically incorporated into the entry design using shapes, plants, paving and structural materials, grading, and other features to create a graceful pattern at the entry and a distinctive statement that reflects a high level of quality.



### Zone 3: Neighborhood Streets

Street trees along neighborhood streets develop continuity and create a unique neighborhood identity. Street trees shall be chosen for qualities of (1) durability, (2) easy maintenance and drought resistance, (3) color, texture, and other aesthetics, (4) size and shading capacity, and (5) for their non-invasive root systems.

#### *Neighborhood Entry Streets*

These streets are characterized by entry medians and landscape corridors along sidewalks. Medians should be planted with formal colonnades of distinctive accent trees to reinforce the identity of each entry location. Medians may be complemented with contrasting (non-turf) groundcovers and/or low shrubs.

#### *Neighborhood Streets*

Neighborhood streets do not feature a landscaped strip within the right-of-way. Residential front yards will feature the street trees and, therefore, define the streetscape. There shall be a minimum of one street tree per lot, with a maximum spacing of 30 feet between trees. Each neighborhood street shall display the same consistent tree species for its primary tree along the entire length of that particular street. Although there may need to be some duplication of tree types for multiple streets, effort should be made to maximize the variety provided which will better distinguish and identify each neighborhood street.



### 6.6.8. Natural Landscape and Preservation Areas

#### Zone 4: Open Space Corridors and Biological Drainage Areas

##### *Northern East-West Drainage Channel*

The major drainage channel running along the northern project boundary is a degraded agricultural ditch. Along the golf course, the channel will be cleaned of debris and maintained. East of San Juan Oak Boulevard, the channel will be re-routed inside the project boundary and widened to include some retention/detention basins. This work will be completed consistent with all applicable Federal, state, and local agency permitting requirements.

It is the intent of this Specific Plan to create a restoration program that includes replanting native trees, shrubs, and grasses to create a more biologically viable feature which could become a community amenity. Landscaping of this re-graded drainage feature will serve the following main functions:

- A natural cover for erosion control in an open storm drain and flood mitigation conveyance
- A restored biological feature that is more in keeping with a typical natural creek, which will provide improved animal and plant habitat
- A linear amenity that will serve as a pedestrian/bicycle connection and visual buffer for the residential units along the northern project boundary
- A landscape screening device with a dense row of trees to eventually screen views from Highway 156.

After re-grading the channel, a program of planting California native and riparian trees, shrubs, and grasses shall be undertaken in coordination with a certified biologist, appropriate governmental agencies, and in conformance with the County Landscape Ordinance (San Benito County Code, Chapter 25.30). Native and adaptive species will be determined and accepted as required prior to landscape installation. Landscape screening along shall achieve the following standards:

- Trees: 1 tree per 20 linear feet of interior lot line; if trees are clustered, the distance between clusters shall not exceed 30 feet
- Shrubs: 1 shrub per 4 linear feet of interior lot line
- Groundcover: Infill plantings between trees and shrubs that will achieve complete coverage within 3 years of planting

Evergreen trees shall be at least 8 feet in height at planting and plant stock shall be fully and evenly branched to promote proper visual screening. Deciduous trees shall be at least 8 feet in height at planting and to preserve screening properties year-round, deciduous trees shall account for no more than 50 percent of the trees in the plantings area. Shrubs shall reach a minimum height of 2 feet when mature

If provided, trails shall maintain a setback of 5 feet from the top of channel bank, be constructed of soft-paved natural materials (e.g., decomposed granite), and be sited and aligned to minimize impact on new homes abutting the channel. Trails may be constructed at one time or in phases along with the development phasing, and shall be approved in accordance with the final subdivision map for each phase.



*Other Drainage Basins and Natural Open Space Corridors*

Chapter 7 discusses the implementation of a multi-tier stormwater management strategy to mitigate potential on- and off-site hydrologic impacts. Consequently, several areas will contain detention and retention basins providing water quality treatment and managing peak flows leaving the project site. Additionally, bio-swales or open drainage channels will be constructed to convey stormwater. The goal will be to integrate appropriate landscape features which accomplish the following purposes:

- Similarity with other ecologies indigenous to the area
- Appropriateness of native and adaptive plant materials that do not interfere with a properly functioning storm water facility
- Planting aesthetics that will provide a natural and visually pleasing appearance and that will be seen as a project amenity

Plants used in bio-retention facilities shall be selected for tolerance to occasional flooding and dry periods. Plants shall be non-invasive and should be native to the region whenever practical.

Plants within rain gardens and other bio-retention facilities shall be grouped into hydrozones based on similar water usage. During plant establishment, temporary irrigation shall use separate valves for each hydrozone. All irrigation shall be removed from the bio-retention facility at the end of plant establishment. Bio-retention facilities are intended to receive and treat stormwater runoff; therefore, edge treatments shall be designed not to impede sheet flow from surrounding areas.

Some areas may also contain isolated native oaks or other elements to be preserved. For these instances, refer to the Preservation Areas section.

Additional plants may be added to or deleted from the landscape palette as approved by relevant public agencies and hydrologic engineers.

## Zone 7: Preservation Areas

### *Western Wetland Preservation Area*

On the western project edge, a wetland area has been identified, delineated, and approved for Section 404 Permitting by the US Army Corps of Engineers. Preservation procedures are established within this type of protected area, and any landscape measures within this zone are prohibited without express authorization by the appropriate state, regional, and local agencies.

### *Southern Hillside Open Space Area*

The natural hillside open space areas that extend from the southern project edge will largely remain in a preserved existing condition, with periodic grooming and conventional maintenance. However, existing dirt or decomposed granite trails in the hillsides are to be improved and maintained for residents and their guests to use and enjoy.

Where these open hillside areas abut a roadway or developed lot, a minimum 30-foot wide continuous fuel modification area (FMA) shall be provided and consist of permanently irrigated plant material approved by the local Fire Marshall. However, in sections of this 30-foot FMA where stormwater retention/detention ponds are located, permanently irrigated and maintained basin plantings as approved by the Fire Marshall shall be acceptable.

### *Heritage Oak Trees*

A certified arborist evaluated the health of the existing valley oak trees and presented measures to preserve those that are good candidates for continued health and survival. Subsequently, measures were taken during the initial planning and layout of the project to avoid impact to the vast majority of the existing oaks, with particular attention given to the healthy, thriving specimens. The developer shall work with the appropriate public agencies to review and approve the landscape preservation and ecological maintenance plan to protect selected existing heritage trees.



### 6.6.9. Community Amenity and Recreation Areas

#### Zone 5A: Amenity Center

Landscaping within the amenity center shall be provided for the various facilities. Central landscape areas may be utilized by specific social organizations to showcase their interests. For example, botanical organizations may offer theme gardens (e.g., a rose or camellia club) or a community garden may be installed for the use of the residents.

Landscape themes for the amenity center shall be designed for human comfort and richly embellished in terms of plant materials and hardscape. Landscape design will address building foundation plantings, entry treatment, layout and materials for play fields and courts, open passive areas, the swimming pool environment, gardens, walkways, patios, and parking lot heat island mitigation.

Site furnishings (e.g., benches, tables, and drinking fountains) shall be provided at opportune points for rest and social gatherings. Site furnishings shall compliment architectural features of the main building. Paving shall be decorative, enriched materials, or stamped concrete with integral color appropriate to the architectural theme. Plant materials shall be selected for unique seasonal qualities. Oak trees may be planted to complement existing oak tree groves. Raised planters and pots may be used to articulate spaces, to vary the ground plane, or to control pedestrian circulation.

Parking areas shall be planted to provide visual screening (with berms where feasible) from Del Webb Boulevard. Shade trees lot should be located and spaced to ultimately provide a 50 percent shade canopy within 15 years of planting.

The location of the amenity center will afford views of the hillsides, Fremont Peak State Park and the agricultural valley landscape. All landscape planting and structural features shall be orchestrated and designed so as to enhance and highlight these views and accentuate the unique setting.



### Zone 5B: Resort Hotel

The resort hotel with guest rooms is proposed south of San Juan Oaks Drive and the existing clubhouse on 34.5 acres. This hotel is currently approved as part of the vesting tentative map and is not a part of the Del Webb recreation program. However, it will be comprised of a substantial amount of open space and is included in these landscape guidelines.

- Building Landscaping – a five foot minimum landscaped area shall be provided to separate ground floor units from pedestrian walkways, project amenities and drive aisles/parking areas.
- Once all of the particular features and facilities (swimming pools, parking, plazas, common areas, etc.) for the resort have been determined, designed and laid out, landscaping shall be provided to enhance the aesthetics and overall experience for the visitors of the center.
- Any collective parking areas shall be planted to provide visual screening (with berms if appropriate and feasible).
- Similar to the Del Webb Amenity Center, the Resort Hotel will afford views of the neighboring hillsides as well, and as such, landscape planting and other landscape features shall be designed to highlight these views and enhance the setting.
- Planting shall be selected to complement the building architecture.
- Given the large proportion of open space around the buildings and parking areas, oaks and other native and adaptive trees should be planted to harmonize with the overall San Juan Oaks theme and setting.
- Landscaping around the units fronting the golf course shall utilize plant material that matches or complements existing planting along the developed portions of the course.
- Outdoor landscape furniture for the Resort Hotel grounds shall be of high quality materials and elements to reflect the surroundings and casual atmosphere of the setting.



**Zone 6: Neighborhood Parks**

The four neighborhood parks will be distributed throughout the Specific Plan area, serving individual neighborhoods that surround them. These parks are a central feature within each neighborhood and serve as a public amenity and community defining element. These parks will contribute to the sense of place and identity of each neighborhood, while providing space for respite and aesthetics.

To the extent possible, landscape designs for these parks should contain strong focal elements that highlight their central location and give those neighborhoods a strong sense of place. These focal elements may consist of any of a number of elements, such as a large distinctive oak tree or structural features (e.g., monuments, shade structures, water features, fountains, statuary).

The parks will be designed mostly for passive activities and informal in character; however, small active recreation features (e.g., sports courts or playgrounds) may be incorporated. Park furniture (e.g., benches, trash and recycle receptacles, drinking fountains) and paving materials shall be selected or designed to blend with the overall historic theme of the community and the natural ambiance of the park setting and not appear obtrusive. Low knee-high perimeter or aesthetic walls may be incorporated in park designs in concert with topographic features or other aesthetic purposes.

Parks will also be designed to fulfill a stormwater control. Detention areas, bio-swales, and other natural drainage features will be incorporated into parks and should be landscaped as natural basins and swales, according to the criteria described in Landscape Zone 4. Landscape design solutions will display creativity and innovation to make these areas function also as “people places” for the residents and visitors.



### 6.6.10. Residences

#### Zone 8: Model Homes

Landscape design for the sales pavilion and model home complexes should welcome visitors with displays of color and materials that complement the natural rural setting and continue the early California theme. Annuals and flowering shrubs displaying abundant colors are an important part of the landscape theme. Richly designed site amenities shall be provided and model homes shall be designed with water conserving landscapes pursuant to San Benito County's Water Conservation Plan. The following landscaping guidelines apply to the sales pavilion and model home areas:

- Visitor parking areas shall be screened from nearby homes and adjacent streets with dense landscaping. Trees screening the parking area shall be spaced no more than 20 feet on average
- Existing oak trees are to be preserved and incorporated into the landscape design to the extent practical
- Landscaping within the sales complex (sales pavilion, model homes, visitor information building) may be removed at the end of the marketing program or at the time of conversion to another use



### Zone 9: Production Home Lots

Focusing on sustainable landscape design concepts, private residential yards should feature mostly native and adaptive drought tolerant plantings. Some trees and other plant material with moderate water demand may be used to a limited degree as appropriate. A minimum of 80 percent of the plant materials proposed for use in front yards shall be selected from plant palettes shown in Tables 6-2 through 6-4.

Turf use shall be limited to a maximum of 25 percent of the total planted area within each lot. Each front yard shall feature at least one street tree, consistent in species and size for the individual streetscape.

Landscape patterns for private residential rear yards are left to the discretion of homeowners; front yard landscaping is left to the discretion of the builder/developers of the neighborhoods and/or knowledgeable design professionals. However, landscape themes and plantings should reflect the overall landscape character and shall be consistent with all applicable water-conservation regulations.

Compatibility with this landscape vernacular is in harmony with the coastal climate, combining arid and often colorful plant material and creating courtyard settings which tend to be open and airy. Home entries may be formal or informal but plantings would tend to emphasize the home entry area. Low stucco, wrought iron or other masonry walls may be used to define entry and courtyard areas giving them visibility as gathering spaces.

#### *Diversity*

Within a variety of planting patterns available to each homeowner, a compatibility of plant types, colors, and horticultural character should be considered in establishing each planting area or section of a neighborhood. A diversity of plant materials is encouraged on private property, emphasizing a variety of plants providing seasonal color, fragrance, texture, foliage interest and potential screening capabilities.

#### *Environmental Controls*

On private parcels, trees and tall shrubs should be placed to maximize shading of buildings, structures and outdoor use areas with southern and

western exposures. Shade trees selected should grow to appropriate heights at maturity to assist in the reduction of the heat island effect.

#### *Irrigation*

Water-conserving irrigation systems, including automated rain sensors and programmable irrigation controllers, should be used to provide coverage to irrigated areas. Emitters, bubblers, or drip irrigation systems and other such devices shall be used wherever feasible and/or practical to encourage deep-rooted plantings. In areas where especially drought-tolerant and native planting (e.g., xeriscaping) is employed, irrigation systems should be used to establish new young plantings with the goal and intent of discontinuing a majority of the irrigation as the trees/shrubs are able to survive without introduced irrigation.

#### *Tiered Plantings*

Landscape plans for all home sites should, at a minimum, incorporate “tiered” foundation plantings that show seasonal variety, color, contrast, and environmental sustainability. Tall evergreen trees and shrubs may be used for screening and deciduous trees used for summer shading and winter solar access where appropriate.

### Zone 10: Estate Conventional Single Family Lots

Unlike the developer-landscaped front yards in the active adult community, the large estate lots will likely be landscaped by the homeowners themselves. The same principles of sustainable planting and irrigation practices described in previous sections shall also apply to conventional single family lots.



### 6.6.11. Commercial Area

#### Zone 11: Neighborhood Commercial

Planting around neighborhood commercial buildings shall continue to be consistent in character, function, and sustainability with the overall landscape themes within community.

##### *Landscaping around Buildings*

Tree and shrub plantings should be compact and capable of being easily maintained and trimmed so as not to interfere with walkways, entrances, or other elements in the center. Plants should be colorful (flower and/or foliage), and trees should have non-invasive root systems adjacent to hardscape areas and buildings.

##### *Landscaping in Parking Areas*

The landscape character in the streetscapes should be extended into the parking areas within commercial areas in order to reinforce the continuity of public areas in the circulation network. Aesthetics, functionality, and reduction of heat island effect should govern plant selections for the retail commercial and any other parking areas.

Broad-crowned shade trees shall comprise the types of trees planted within the edges of parking lots and in planter islands. Trees should be located and spaced to ultimately provide a 50 percent shade canopy within 15 years of planting.

Shrubs and/or ground covers selected for locations adjacent to automobiles should be resistant to exhaust and the heat of reflected surfaces. Plants should be water conserving and require low maintenance.



### 6.6.12. Landscape Palette

Table 6-2: Tree Palette, Table 6-3: Shrub Palette, and Table 6-4: Groundcover Palette (collectively, the “Landscape Palette”) identify acceptable trees, shrubs, and groundcovers acceptable within the Specific Plan area. Deviations from this plant palette shall be subject to approval by the Director of Planning & Building Inspection Services.

**Table 6-2: Tree Palette**

Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
<i>Arbutus Marina</i> (Strawberry Tree)	Low				X			X		X		X	X	X		
<i>Acer macrophyllum</i> (Big Leaf Maple)	Medium															X
<i>Alnus rhombifolia</i> <sup>2</sup> (White Alder)	High															X
<i>Aesculus californicus</i> (California Buckeye)	Very Low						X									X
<i>Cedrus deodara</i> (Deodar Cedar)	Low		X	X	X			X		X				X	X	
<i>Celtis occidentalis</i> (Common Hackberry)	Low					X		X		X			X	X	X	
<i>Cercis occidentalis</i> (Western Redbud)	Very Low		X	X	X		X	X		X		X	X	X	X	X
<i>Cercis canadensis</i> (Eastern Redbud)	Medium		X		X			X		X		X	X	X	X	
<i>Citrus x 'Valencia'</i> (Orange Grove)	Medium											X	X	X		
<i>Citrus x 'Improved Meyer'</i> (Lemon Grove)	Medium											X	X	X		
<i>Eucalyptus nicholii</i> (Willow leaf Peppermint)	Low												X	X	X	
<i>Eucalyptus sideroxylon</i> (Pink Ironbark)	Low			X		X							X	X		
<i>Fraxinus Velutina</i> 'Rio Grande' (Ash)	Medium					X						X	X	X	X	
<i>Fraxinus oxycarpa</i> 'Raywood' (Raywood Ash)	Medium											X	X	X		
<i>Ginkgo biloba</i> (Maidenhair Tree)	Medium			X		X				X		X	X	X	X	
<i>Gleditsia triacanthos</i> (Honey Locust Tree)	Low		X	X		X				X		X	X	X	X	
<i>Juniperus occidentalis</i> (Western Juniper)	Low		X		X		X	X		X						
<i>Koelreuteria paniculata</i> (Golden Rain Tree)	Medium					X				X		X	X	X	X	
<i>Lagerstroemia indica</i> (Crape Myrtle)	Low		X									X	X	X	X	
<i>Laurus nobilis</i> (Sweet Bay)	Low									X		X	X	X	X	
<i>Leptospermum laevigatum</i> (Australian Tea Tree)	Low									X		X	X	X	X	

Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
Maytenus boaria (Mayten Tree)	Medium					X				X		X	X	X	X	
Magnolia soulangeana (Tulip Magnolia)	Medium													X		
Metrosideros excelsa (New Zealand Christmas Tree)	Low					X								X	X	
Myoporum laetum (Myoporum)	Low		X				X	X		X		X	X	X	X	
Nyssa sylvatica (Sour Gum)	Medium					X								X	X	
Olea Europaea 'Swan Hill' (Olive)	Very Low	X	X		X			X				X	X	X	X	
Pinus halepensis (Aleppo Pine)	Low			X			X	X		X			X	X	X	
Pistacia chinensis (Chinese Pistache)	Low				X	X		X		X			X	X	X	
Platanus racemosa (California Sycamore)	Medium						X				X					X
Platanus acerifolia 'Bloodgood' (London Plane Tree)	Medium	X	X	X	X	X				X		X	X	X	X	
Populus nigra (Lombardy Poplar)	Medium						X									X
Populus fremontii (Fremont Cottonwood)	Medium						X									X
Prunus cerasifera "Krauter Vesuvius" (Flowering Plum)	Low		X	X	X	X		X		X			X	X	X	
Quercus agrifolia (California Live)	Very Low	X	X	X	X		X			X	X					X
Quercus suber (Cork Oak)	Low		X			X	X			X					X	
Quercus lobata (Valley Oak)	Low	X			X		X				X					X
Rhus lancea (African Sumac)	Low				X		X	X		X			X	X	X	
Robina pseudoacacia (Black Locust)	Low					X		X		X			X	X	X	
Salix laevigata <sup>2</sup> (Red Willow)	High															X
Salix lasiolepis <sup>2</sup> (Arroyo Willow)	High															X
Sambucus mexicana (Blue Elderberry)	Low						X									X
Sophora japonica (Scholar Tree)	Low					X		X				X	X	X	X	

Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
<i>Ulmus parvifolia</i> 'True Green' (Chinese Evergreen Elm)	Medium					X								X	X	
<i>Umbularia californica</i> (California Bay)	Medium						X									X

Notes:

- (1) Based on Department of Water Resources (DWR) "Water Use Classification of Landscape Species" (WUCOLS)
- (2) Specialized use only in wet riparian areas

**Table 6-3: Shrub Palette**

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
Hedgerows/Screens/Tall Shrubs	<i>Cotinus coggygia</i> 'Royal Purple' (Purple Smoke Tree)	Low		X	X	X		X	X				X	X	X	X	
	<i>Ceanothus</i> sp. (California Wild Lilac)	Very Low	X	X	X	X		X	X		X		X	X	X	X	X
	<i>Heteromeles arbutifolia</i> (California Toyon)	Very Low	X	X	X			X	X		X		X	X	X	X	X
	<i>Phormium tenax</i> (Flax)	Low			X				X				X	X	X	X	
	<i>Xylosma congestum</i> (Shiny Xylosma)	Low		X		X			X				X	X	X	X	
	<i>Elaeagnus x ebbingei</i> (Silverberry)	Low		X		X			X				X	X	X	X	
	<i>Ramnus californica</i> (Coffeeberry)	Low	X	X		X		X	X		X	X	X	X	X		X
	<i>Nerium oleander</i> (Oleander)	Low							X				X	X	X	X	
	<i>Salix lasiolepis</i> <sup>2</sup> (Red Willow)	High						X									X
	<i>Berberis darwinii</i> (Darwin Barberry)	Low				X			X		X		X	X	X	X	
	<i>Viburnum tinus</i> 'Robustum' (Laurustinus)	Medium		X		X			X		X		X	X	X	X	
	<i>Rhus integrifolia</i> (Lemonade Berry)	Low		X		X		X	X		X		X	X	X	X	
	<i>Rhaphiolepis x 'Majestic Beauty'</i> (Indian Hawthorne)	Medium		X		X			X		X		X	X	X	X	
Evergreen	<i>Feijoa sellowiana</i> (Pineapple Guava)	Low		X		X		X				X	X	X	X		
Tall, Narrow Shrubs	<i>Pittosporum tenuifolium</i> (Tawhihi)	Medium				X		X				X	X	X	X		
	<i>Escallonia 'Fredesii'</i> (Frades Escallonia)	Very Low		X		X		X		X		X	X	X	X		
	<i>Afrocarpus (Podocarpus) gracilior</i> (Fern Pine)	Medium					X		X			X	X	X	X		
Medium Shrubs	<i>Loropetalum chinese</i> 'Daybreaks Flame' (Bronze Fringe Flower)	Low		X	X	X		X		X		X	X	X	X		
	<i>Artemesia</i> spp. (Sage)	Very Low		X	X	X		X	X		X	X	X	X	X		
	<i>Euryops pectinatus</i> (Euryops Daisy)	Low		X		X		X		X		X	X	X	X		
	<i>Nandina domestica</i> (Heavenly Bamboo)	Low		X		X		X		X		X	X	X	X		

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
	Lantana camara (Lantana)	Low		X		X			X		X		X	X	X	X	
	Lantana montevidensis (Trailing Lantana)	Low		X		X			X		X		X	X	X	X	
	Berberis thunbergii 'Atropopurea' (Red-Leaf Japanese Barberry)	Low		X	X			X	X		X		X	X	X	X	
	Punica granatum 'Nana' (Dwarf Pomegranate)	Low							X				X	X	X		
	Pittosporum tobira 'Variegata' (Variegated Mock Orange)	Low		X		X			X		X		X	X	X	X	
	Raphiolepis indica (Indian Hawthorne)	Low				X			X		X		X	X	X	X	
	Achillea spp. (Yarrow)	Low		X		X			X		X		X	X	X	X	
	Cistus spp. (Rockrose)	Low		X		X			X		X		X	X	X	X	
	Sarcococca sp. (Sweet Sarcococca)	Low		X		X			X		X		X	X	X	X	
	Westringia spp. (Coast Rosemary)	Low		X		X			X		X		X	X	X	X	
Borders and Low Accents	Lavandula (cultivars) (Lavendar)	Low	X	X	X	X	X	X	X		X		X	X	X	X	X
	Nandina domestica 'Firepower' (Dward Nandina)	Low				X							X	X	X	X	
Shrub Sprays and Accents	Gaura lindheimeri (Gaura)	Medium		X		X					X		X	X	X	X	
	Salvia leucantha (Mexican Sage)	Low		X		X					X		X	X	X	X	
	Lobelia laxiflor (Mexican Bush Lobelia)								X				X	X	X	X	
	Echium fatuosum (Pride of Madeira)	Low		X	X	X			X		X		X	X	X	X	
Shrub Massing and Thickets	Rosa 'Meipsidue' (Fire Meidiland Rose)	Medium															
	Plumbago auriculata (Cape Plumbago)	Low	X		X				X		X		X	X	X	X	
	Rosa rugosa (Beach Rose)	Low	X	X	X	X		X					X	X	X	X	X
	Rosa californica (California Wild Rose)	Low	X	X	X	X		X	X								X
	Calluna vulgaris (Scotch Heather)	Medium	X	X		X		X	X				X	X	X	X	
	Grevillia noelii (Noel's Grevillia)	Low		X					X				X	X	X	X	

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
Colorful Clumping Shrubs	<i>Coleonema pulchrum</i> (Pink Breath of Heaven)	Medium	X		X				X	X	X	X	X	X	X		
	<i>Dietes bicolor</i> (African Butterfly iris)	Low	X	X					X	X	X	X	X	X	X		
	<i>Hemerocallis</i> hybrids Yellow & Cranberry (Evergreen Daylilies)	Medium															
	<i>Agapanthus africanus</i> (Lily-of-the-Nile)	Medium	X	X					X	X	X	X	X	X	X		
	<i>Carex tumulicola</i> (Berkeley Sedge)	Medium															
Clumping Grasses	<i>Helictotrichon sempervirens</i> (Blue Oat Grass)	Low	X	X			X			X							X
	<i>Calamagrostis</i> spp. (Reed Grass)	Low	X	X			X	X		X		X	X	X	X		
	<i>Juncus</i> spp. <sup>2</sup> (Rush)	High															X
	<i>Nolina microcarpa</i> (Bear Grass)	Very Low	X					X		X							
	<i>Festuca</i> (sp. & cultivars) (Green & Blue Fescues)	Low		X	X		X	X		X		X	X	X	X	X	X
Natural and Riparian Areas Only	<i>Artemisia douglasii</i> (mugwort)	Low															X
	<i>Calystegia subacaulis</i> (hill morning glory)	Low															X
	<i>Epilobium ciliatum</i> (woodland sedge)	Low															X
	<i>Baccharis douglasii</i> (Douglas' iris)	Low															X
	<i>Baccharis viminea</i> (mulefat)	Low															X
	<i>Iris douglasiana</i> (Douglas' iris)	Low															X
	<i>Juncus balticus</i> (Baltic rush)	Low															X
	<i>Juncus effusus</i> (spreading rush)	Low															X
	<i>Lonicera hispidula</i> (honeysuckle)	Low															X
	<i>Lupinus bicolor</i> (Lindley's annual lupine)	Low															X
	<i>Marah fabaceus</i> (wild cucumber)	Low															X
	<i>Mimulus aurantiacus</i> (sticky monkey flower)	Low															X

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
	Mimulus guttatus (seep-spring monkey flower)	Low															X
	Ranunculus californicus (California buttercup)	Low															X
	Rosa californica (wild rose)	Low															X
	Ribes menziesii (gooseberry)	Low															X
	Ribes speciosum (fuschia-flowered gooseberry)	Low															X
	Scrophularia californica (California bee plant)	Low															X
	Sisyrinchium bellum (blue-eyed grass)	Low															X
	Symphoricarpos albus (snowberry)	Low															X

Notes:

- (1) Based on Department of Water Resources (DWR) "Water Use Classification of Landscape Species" (WUCOLS)
- (2) Specialized use only in wet riparian areas

**Table 6-4: Groundcover Palette**

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
Ground Covers Mat	Artosaphylos uva-ursi- 'P.R.' (Pt. Reyes Bearberry)	Low	X	X	X	X		X			X		X	X	X	X	
	Cotoneaster dammeri 'Lowfast' (Lowfast Cotoneaster)	Low	X	X	X	X					X		X	X	X	X	
	Rosmarinus officinalis 'T.B.' (Creeping Rosemary)	Low	X	X	X	X		X			X		X	X	X	X	
	Baccharis pilularis 'Twin Peaks' (Coyote Brush)	Low	X	X	X	X		X			X		X	X	X	X	
	Cotoneaster dammeri 'Lowfast' (Lowfast Cotoneaster)	Low		X	X	X							X	X	X	X	
	Ceanothus griseus horizontails (Carmel Creeper)	Very Low	X	X	X	X		X			X		X	X	X	X	
	Myrica californica (California Wax Myrtle)	Low			X	X		X					X	X	X	X	
Trailing	Euonoumous fortunei 'Colorata' (Winter Creeper)	Medium			X								X	X	X	X	
	Trachelospermum jasminoides (Star Jasmine)	Medium			X	X							X	X	X	X	
Vines - Clinging	Perthenocissus tricuspidata (Boston Ivy)	Medium			X	X							X	X	X	X	
Vines - Climbing	Hedera helix (English Ivy)	Medium			X	X							X	X	X	X	
	Jasminum polyanthum (Pink Jasmine)	Medium			X								X	X	X	X	
	Solanum jasminoides (Potato Vine)	Medium			X								X	X	X	X	
Turf	Festuca Blend (Dward improved Tall Fesue)	Low			X	X					X		X	X	X	X	
Clumping Shrubs	Dietes bicolor (Fortnight Lily)	Low			X	X					X		X	X	X	X	
	Tulbaghia violacea (Society Garlic)	Medium			X												
Clumping Grasses	Helistotrichon sempervirens (Blue Oat Grass)	Low			X			X									X
	Calamagrostis acutiflora (Reed Grass)	Low			X	X		X				X					X
	Festuca glauca (Blue Fescue)	Low			X	X		X									X
	Ephedria virdis (Mormon Tea)	Low			X			X				X					X
Long Borders	Teucrium x lucidrys (Wall Germander)	Low			X								X	X	X	X	

Category	Scientific Botanical Name (Common Name)	Water Demand <sup>1</sup>	Zone 1A	Zone 1B	Zone 2A	Zone 2B	Zone 3	Zone 4	Zone 5A	Zone 5B	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	Zone 11	Open Space Riparian
	Lavandula stoechas "Otto Quast" (Spanish Lavender)	Low			X	X		X			X		X	X	X	X	

Notes:

(1) Based on Department of Water Resources (DWR) "Water Use Classification of Landscape Species" (WUCOLS)



# 7

## RESOURCE MANAGEMENT

This chapter describes the existing environmental conditions for the project and the current permit status for each respective resource agency. It also includes management policies and mitigation programs that will help to ensure an integrated and sustainable approach to the long-term protection and management of the site's unique environmental resources



## 7.1. Introduction

The San Juan Oaks Specific Plan is based on an integrated resource management concept. The essence of this approach is to combine the various man-made and natural elements of the site in a comprehensive management strategy that will enhance and benefit each element. These elements include the oak woodlands and mixed riparian forests, the grasslands, on-site and off-site preserved agricultural lands, the existing golf course and proposed development area edges, the wetland and pond resources, and surface water quality. The management policies and mitigation programs described in this chapter include improvement and creation of riparian, wetland, oak woodland, and native grassland habitats; compatible landscaping in the built environment; and other measures to enhance wildlife and open space values.

In particular, the Specific Plan sets aside 1,243.1 acres of the southern and northeastern portion of the project site as a Permanent Wildlife Habitat area. With the exception of associated access roads and trails, this land will be designated as non-buildable through deed restrictions or another similar method. A conservation easement will be placed on these parcels (named Parcels W1.1, W1.2, W1.3, W1.4, and W1.5), and a Geologic Hazard Abatement District (GHAD) will be established by the Applicant, to fund management activities of the easement in perpetuity.

Additionally, the Specific Plan will set aside up to 41.4 acres within the project site and 153.5 acres off-site as Agricultural Preserve. An easement will be placed on these properties to ensure they are used for agricultural purposes in perpetuity.

This chapter addresses sustainable uses and protection of natural resources that will be preserved by implementation of the Specific Plan. Resource management policies and mitigation programs described in this chapter address:

- Geological Hazard Abatement District (formation)
- Grazing and agricultural resources
- Biological resources
- Cultural resources
- Water quality
- Geotechnical resources
- Air quality
- Noise

## 7.2. Existing Environmental Conditions and Resource Agency Permit Status

The following is a summary of existing biological conditions on the project site and the current permit status for each respective resource agency. This information was largely derived from the *Biological Resources Baseline for the San Juan Oak Specific Plan*, prepared by Zander Associates in July 2013.

The 1,243.1 acres of Permanent Wildlife Habitat area supports cultivated agriculture, grasslands, oak savannah and mixed oak woodlands and is used primarily for grazing and dry land farming. Surrounding land uses include intensive agriculture to the north and northwest, sparsely developed wooded hills to the south and southwest, and an industrial use and San Justo Reservoir and Recreation Area to the east.

Elevations on the property range from a low of about 215 feet in the relatively flat cultivated fields toward the westerly edge of the property to a high of about 1,131 feet in the hills to the south. The hills are cut by several prominent ephemeral drainage courses that carry winter runoff in

## 7 | RESOURCE MANAGEMENT

a more or less northerly direction towards the golf course and agricultural lands. All but a few of the channels disappear as the grade flattens and the water dissipates as overland flow. Drainage channels flow through a series of ornamental ponds on the golf course and several stock ponds and water retention basins are found throughout the undeveloped portions of the project site.

Numerous surveys and site assessments have been conducted on the San Juan Oaks property over a period of more than 20 years to identify the existing biological resources and determine the presence/absence of special-status species. Some of those assessments were conducted in conjunction with the environmental review for development of the existing golf course and clubhouse. Others were done as part of the environmental review, planning and permitting process for the previously approved Vesting Tentative Map. More recent work has been done to comply with resource agency permit requirements and to update the status of baseline conditions on the property.

The basic characteristics of vegetation types, drainages, ponds, seasonal wetlands, and wildlife habitats within the Specific Plan area are described below and the extent of each in the project site is illustrated on [Figure 7-1: Existing Vegetation Types](#).

### 7.2.1. Non-native Grassland

Non-native grassland, which includes wild oats and annual brome, is the most extensive vegetation type in the Specific Plan area. Grasslands provide foraging habitat for a variety of animals including lizards, birds, and some small mammals, including bats. Many of these animals, in turn, serve as prey for larger species.

### 7.2.2. Oak Woodlands

Oak woodlands are best characterized as a mixed oak forest (*Quercus* forest alliance). At the lower elevations and along ephemeral drainages near the canyon bottoms, coast live oak (*Quercus agrifolia*) and valley oak (*Quercus lobata*) are almost codominant. Big leaf maple (*Acer macrophyllum*), California bay laurel (*Umbellularia californica*) and blue elderberry (*Sambucus mexicana*) are common associates in these areas.



At higher elevations on drier sites and south-facing slopes, blue oak (*Quercus douglasii*) is dominant with black oak (*Quercus kelloggii*), madrone (*Arbutus menziesii*) and coast live oak found in localized areas.

Oak woodlands provide good habitat for a variety of wildlife species. Oak trees provide nesting sites and cover for many birds and mammals. Cavity-bearing trees supply denning, nesting, and roosting sources. Woody debris and duff in the forest contribute to the structural complexity of the forest floor and provide foraging areas for small mammals and microclimates suitable for amphibians and reptiles.



### 7.2.3. Mixed Riparian Forest

This vegetation type occurs in relatively narrow bands along drainages where the microclimate is moist and the water table is closer to the surface. The mixed riparian forest is dominated by open to closed canopies of coast live oak, valley oak and red willow (*Salix laevigata*). Along the more significant drainage in the eastern portion of the site, California sycamore (*Platanus racemosa*) is also a major component of the canopy. Arroyo willow (*Salix lasiolepis*) and cottonwoods (*Populus fremontii*) are interspersed throughout the mixed riparian forest vegetation type.

Riparian forests typically provide valuable wildlife habitat because the canopy of trees and shrubs present provide nesting and foraging sites, movement corridors and cover for animals in an area adjacent to a water source.

### 7.2.4. Cultivated Agriculture

The western portion of the project site and several fields just north of the golf course and along the main access road to the property (San Juan Oaks Drive) are actively cultivated for forage and grain crops. Most of the forage and grain fields are typically disked and seeded between fall and early spring and harvested (cut) between late spring and early summer. They usually remain fallow until the seasonal cycle begins again.

Suitable habitat for native plants and wildlife is very limited in these cultivated agricultural fields. Aggressive plant colonizers, especially non-native weeds, can become established on cultivated ground. Common rodents, reptiles and other animals could also occur in these areas. But ongoing cultivation restricts the long-term sustainability of any plant communities or wildlife populations. Foraging raptors over open cultivated fields adds to common wildlife population control.



Image courtesy of Steve Loos Photography

### 7.2.5. Ephemeral Drainages

Several ephemeral streams convey runoff from the hills in the southern portion of the property northeast through the site. These drainages typically contain incised main stem channels and tributaries that carry

runoff from the surrounding oak woodlands onto and through the central part of the property. Mixed riparian forest is associated with the most pronounced of these streams in the upper reaches (see above). With the exception of one of these drainage systems, the defined channels disappear and any seasonal runoff dissipates as the slope flattens.



One drainage system flows into a man-made ditch that begins near the maintenance yard for the golf course, heads towards the northern property boundary, turns west and follows the length of the northern property boundary. At the northwest corner of the property, the ditch turns north again and follows a course through agricultural fields until it eventually links with San Juan Creek near Highway 156. Because the ditch is “hydrologically connected” to San Juan Creek, the U.S. Army Corps of Engineers (the Corps) took jurisdiction over it as a “waters of the United States”, but exempted the other drainages.

In addition to the drainage channels, there are numerous erosional gullies located primarily in the steeper hillside areas. These gullies typically do not have identifiable beds, banks or channels, are located in

extremely limited watershed areas, do not support any hydrophytic vegetation and are not tributary to any larger drainage systems.

### 7.2.6. Ponds

Ponds on the property have been created as water supply/retention areas associated with ranching operations or as golf course features, and are annually maintained as such. There are 13 ponds not associated with the golf course that vary in size from 1.7 acres to only 0.03 of an acre. Most of these ponds are seasonal, typically containing water during the winter months and drying out in the late spring and summer.

There is little aquatic vegetation associated with these ponds, other than occasional algal blooms and aquatic ferns, and only marginal shoreline vegetation due to heavy cattle use. The Corps exempted most of the ponds on the property as jurisdictional wetlands and only took jurisdiction over two just south of the golf course because they were associated with the jurisdictional drainage system.



Image courtesy of Bryan Mori

### 7.2.7. Seasonal Isolated Wetland

A seasonal jurisdictional wetland occurs in the relatively flat, northwest corner of the site where the duration of soil saturation or surface water ponding can be sufficient to establish all three wetland parameters: wetland plants, soils and hydrology. This Corps jurisdictional wetland was partially filled in 2012 and expanded under authorization (nationwide permit) previously granted by the Corps.

### 7.2.8. Special Status Species

No special status plant species are currently known to exist on the project site. Many of the special status plants known to occur in San Benito County are associated with alkaline or serpentine soils or serpentinite bedrock. There are no marked alkaline areas, serpentine soils or serpentinite bedrock on the site and therefore the species associated with these habitats are not expected to be present.

California tiger salamanders (*Ambystoma californiense*) (CTS) have been documented from at least six ponds on the San Juan Oaks property since 1994. Ponds that were not found to contain larvae or individuals are assumed to potentially support CTS because of their proximity to other known habitat. The open grassy hills around the golf course act as dry season aestivation habitat, especially in areas of ground squirrel activity. It is likely that the ponds act as a habitat complex that CTS utilize at different times, and the existing golf course allows for movement of CTS from the northeastern ponds to the southeastern ponds around the course.

Surveys for California red legged frog (*Rana draytonii*) (CRLF) were conducted on the property site on May 6 and May 7, 1999. Adult CRLF were found associated with four ponds around the existing golf course. Two sub adult CRLF were also captured in upland drift fences during 2005-2006 studies. It is reasonable to assume that CRLF may be found in other ponds on the property, including golf course ponds. CRLF may also use drainages, grasslands, and even golf course fairways as movement corridors, especially during the rainy season.

The area is considered a suitable habitat for San Juan kit fox (*Vulpes macrotis mutica*) (SJKF). A 2006 USFWS biological opinion concluded that the likelihood of SJKF occurring on the site is low but acknowledged that the grassland habitat on the site is suitable for SJKF hunting and denning.

Both the federally threatened vernal pool fairy shrimp (*Branchinecta lynchi*) and the federally endangered vernal pool tadpole shrimp (*Lepidurus packardii*) are known to occur in vernal pools in San Benito County, primarily in South County. There are no vernal pools on the project site and while there are no recorded occurrences of either of these species within five miles of the San Juan Oaks property, there is potential habitat present in some of the ponds.



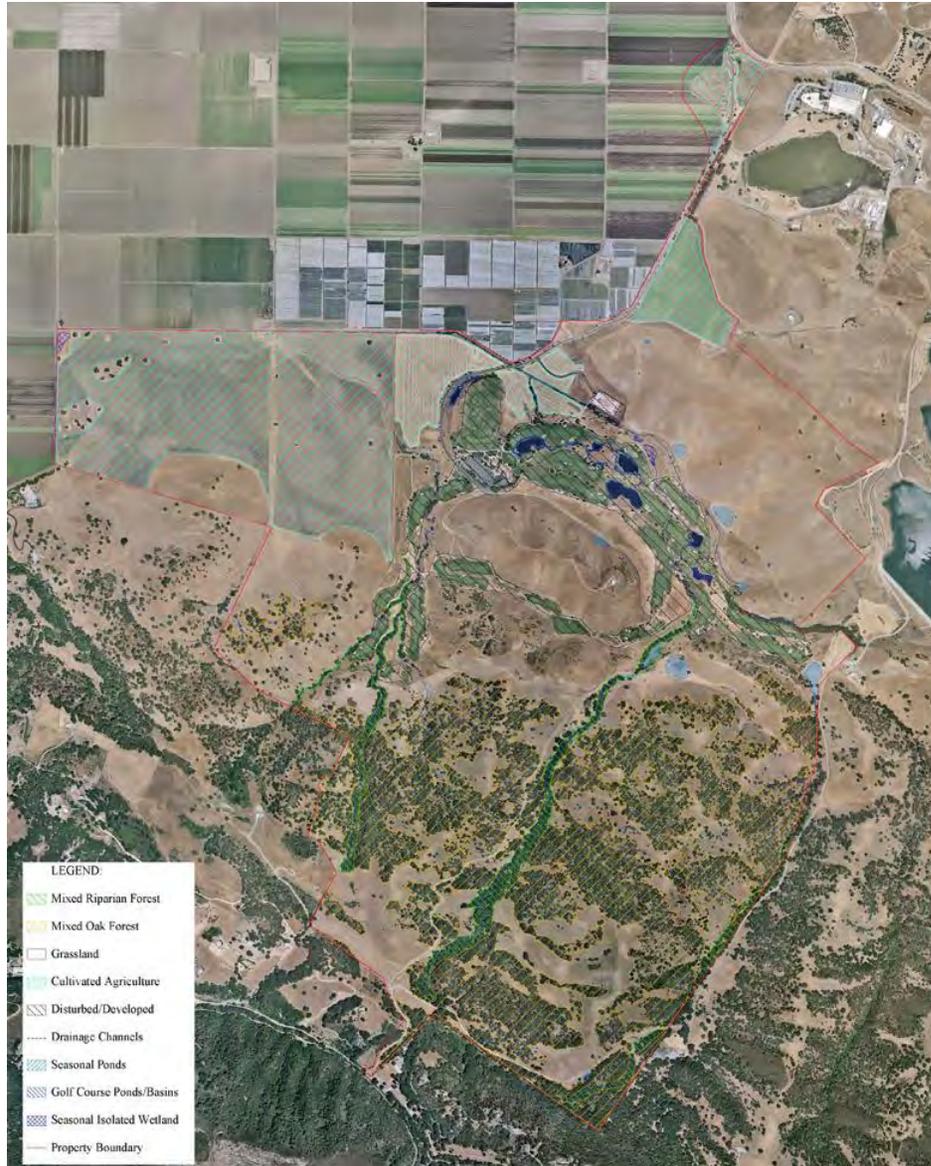


Figure 7-1: Existing Vegetation Types

### 7.2.9. Resource Agency Permit History & Status

#### U.S. Army Corps of Engineers

A Corps Nationwide Permit (NWP) for minor wetland fill was originally issued for the previously approved project in August 2006. Because no wetland fill occurred prior to permit expiration, the permit was renewed several times over the following years and was scheduled to expire in March 2013. In order to be vested in the permit and benefit from its endangered species act coverage (see below), initial grading (i.e. minor fill in the small seasonal wetland in the northwest corner of the property) took place in October 2012, all in accordance with the NWP.

Corps permit conditions require mitigation, monitoring and reporting for the wetland fill over a five year term as per the mitigation plan submitted with the original application. Mitigation for the minor fill has been provided by creating a small depression (through grading) next to the existing seasonal wetland and seeding it with appropriate plants. The area has been fenced to exclude cattle and will be regularly monitored over the five year term until 2018.

#### US Fish & Wildlife Service

A USFWS biological opinion (BO) was issued for the previously proposed project in August 2006 pursuant to Section 7 (endangered species act) consultation with the Corps (USFWS 2006). The BO addressed CRLF (and its critical habitat), CTS and SJKF, and provided coverage for incidental take of those species (and impacts to CRLF critical habitat) through the Corps permit. The BO is the functional equivalent of an incidental take permit from USFWS. The BO is very specific in its description of the project and its conditions, which are tied to and enforced through the Corps permit.

The BO assumed a specific development footprint and some specific design elements (e.g., housing “pods” with CTS movement corridors near one of the seasonal ponds), and its conditions require pre-construction surveys for covered species, educational outreach, monitoring during construction and numerous other activities (26 “protective measures”).

As shown in Figure 7-2: Development Footprint Overlay, the development area of the proposed Specific Plan will occur in the same general area but less total acreage than the development footprint as the approved Vesting Tentative Map and all critical design elements (e.g., “pods”) as described in the BO will be maintained as part of this Specific Plan as previously described and required.

#### Regional Water Quality Control Board

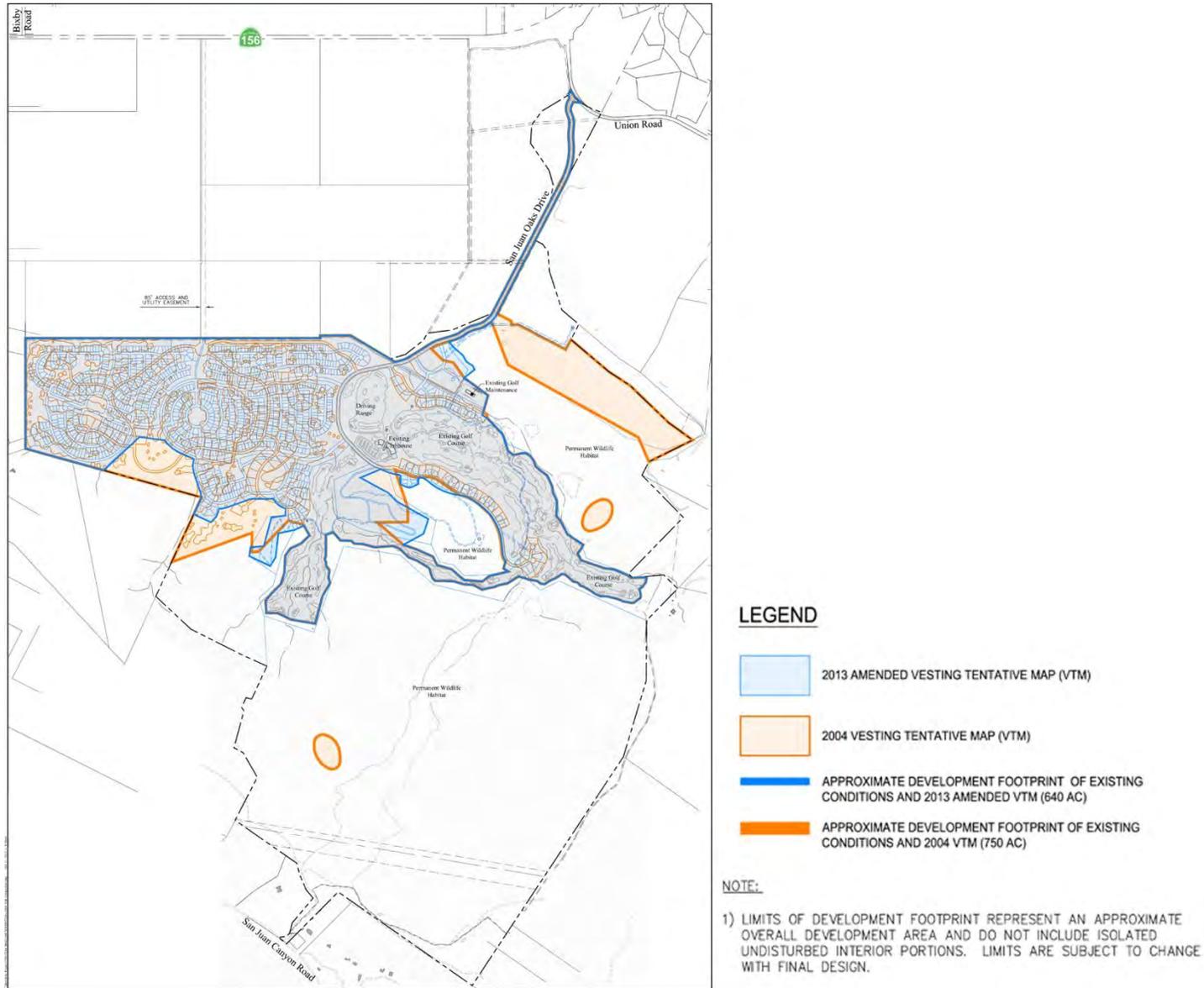
RWQCB 401 Water Quality Certification was issued in May 2007 as required by the Corps permit. The 401 certification came with its own conditions of approval, many of which are related to appropriate design and construction of the project relative to water quality protection.

Some of the RWQCB conditions require monitoring and reporting on the wetland mitigation and others require formal preservation of open space (conservation easement) and evidence of adequate mitigation funding (performance security). With the exception of wetland mitigation monitoring and reporting, most condition compliance is tied to future events (e.g., prior to final development approval; prior to commencement of grading; prior to issuance of any construction permits).

#### California Department of Fish and Wildlife

CDFW authorization for incidental take of CTS (and possibly SJKF) on the San Juan Oaks property will be required and may be provided in two ways. First, CDFW may issue a notice of concurrence with the federal BO because CTS (and SJKF) is both state and federally listed. Second, CDFW may require a separate (State of California) incidental take permit pursuant to Section 2081 of the California Fish and Game Code.

Figure 7-2: Development Footprint Overlay



### 7.3. Resource Management Policies and Mitigation Programs

The resource management goal for this Specific Plan is as follows:

*The San Juan Oaks Specific Plan will preserve and enhance the natural character of the project site, and in particular the Permanent Wildlife Habitat Area, through a combination of comprehensive planning, pro-active enhancement, and on-going and funded monitoring practices to ensure an integrated and sustainable approach to the long-term protection and management of the site's unique environmental resources.*

The following resource management policies and mitigation programs will be utilized to guide future actions and project implementation.



Image courtesy of Steve Loos Photography

#### 7.3.1. Geologic Hazard and Abatement District (GHAD)

As part of this Specific Plan, the Applicant proposes to create a GHAD to provide for long-term monitoring and maintenance of open-space slopes, in-tract slopes, drainages, storm water detention and treatment improvements, and other improvements as appropriate and permitted under applicable law, and to respond to slope maintenance issues in a timely and efficient manner.

A GHAD is created to finance the prevention, mitigation, abatement or control of a geologic hazard. A geologic hazard is defined as an actual or threatened landslide, land subsidence, soil erosion, earthquake, fault movement, or any other natural or unnatural movement of land or earth. A GHAD may also be used to finance the mitigation or abatement of structural hazards that are partly or wholly caused by geologic hazards, and may own land. As such, it would be required to assume the attendant responsibility of such ownership (e.g., proper maintenance, management of biological resources, etc.). A GHAD can also be used as a funding mechanism to properly manage property owned/controlled by a GHAD in accordance with the applicable Plan of Control (discussed further below).

As part of the formation of a GHAD, a "Plan of Control" must be prepared that describes the geologic hazards and includes a plan for the prevention, mitigation, abatement, or control of the identified hazards. This Plan of Control must be prepared by a Certified Engineering Geologist. The Plan of Control would need to be adopted by the GHAD Board of Directors (along with other relevant resolutions) and would set forth the activities to be undertaken by the GHAD and the priorities therefor.

The land comprising the GHAD need not be contiguous. A draft Plan of Control has been prepared for the project (ENGEO, San Benito Geologic Hazard Abatement District Plan of Control, San Benito County, CA; Project No. 9901.000.000, Oct. 25, 2013(draft)). The boundaries of the proposed GHAD are coterminous with the boundaries of the project Site. Prior to inclusion of the Plan of Control with the petition for GHAD formation, it is anticipated that the Plan of Control would be

## 7 | RESOURCE MANAGEMENT

revised to include GHAD responsibilities outlined in other relevant documents, as may be prepared, such as a Resource Management Plan, Habitat Management Plan, Conservation Easement, Conditions of Approval, and/or Covenant, Conditions and Restrictions (CC&Rs).

The GHAD's source of funding would be through the landowner assessments, after the GHAD is formed pursuant to applicable law. These assessments, which attach as liens on property if not timely paid, are collected at the same time in the same manner as general taxes on real property. In the event the GHAD is not formed, a similar funding mechanism will be put in place to manage the resource areas.

The GHAD, upon taking title to the applicable lands, would assume specified responsibilities in connection with these areas as set forth in the Plan of Control. These include, but are not limited to, the monitoring and maintenance of facilities that enhance site stability, such as drainage facilities and associated improvements. They can also include funding of monitoring and maintenance of biotic resources, as required and consistent with the Plan of Control, within GHAD-owned parcels.

Specifically, the GHAD will assume monitoring and maintenance responsibilities for the following site improvements and activities:

- Slopes
- Debris benches and berms
- Subdrains
- Concrete-lined drainage ditches
- Restored and unaltered creek channels including grade control structures
- Settlement instruments
- Retaining walls
- Emergency vehicle access/maintenance roads
- Detention basin/water quality and bioretention facilities
- Trails and fire roads within the Permanent Wildlife Habitat Area

- Selected Resource Management Plan activities within the conservation easement area



Land management activities that are typically the purview of the GHAD manager (e.g., trail maintenance, erosion control, grazing contracts) would be coordinated to insure compatibility with habitat management policies and mitigation programs.

Initial capital and ongoing funding for biological assessment, non-native species/predator control, habitat restoration work, monitoring, reporting and other habitat-related activities would be estimated as part of a San Juan Oaks Property Analysis Record (PAR). It is anticipated that this PAR and other relevant documents would be used as the basis for habitat management funding via the GHAD assessment or through an endowment.

It is anticipated that the perpetual conservation easement for the Permanent Wildlife Habitat Area would be granted to Wildlife Heritage Foundation or a similar organization ("Natural Lands Manager"). Long-term management, monitoring, and maintenance of habitat features and

values would be the responsibility of a conservation easement manager and land manager. A designated biologist, hired by and reporting to the Natural Lands Manager, would be responsible for conducting all biological monitoring, as well as preparing all annual reports that would be submitted to the Natural Lands Manager, third-party beneficiaries and regulatory agencies. Funding for the duties of the Natural Lands Manager for biological resource-related activities, including the responsibilities within the Conservation Easement, proposed Resource Management Plan and other regulatory requirements either would be included in the GHAD assessment.

The GHAD will comply with the requirements of the proposed Resources Management Plan and would obtain necessary State and federal authorization required before performing any maintenance that affects any listed threatened or endangered species and/or the bed, channel or bank of streams, wetlands, or riparian habitat associated with the creeks and the water quality basin, and the associated improvements. All activities in GHAD-owned open space parcels shall be subject to approval of the GHAD and otherwise be consistent with any applicable resource agency requirements.

### 7.3.2. General Resource Management Policies

The following resource management policies will apply to all Specific Plan areas and natural resources therein:

- All resource management activities shall occur in compliance with this Specific Plan, the San Juan Oaks Subsequent EIR, the project development agreement, all relevant San Benito County Code ordinances, and the conditions of any permits required by federal, state or local agencies.
- Maintain important existing ecological functions and values, including species and habitat management, stormwater management, and permanently protecting areas containing sensitive natural resources.
- Avoid and enhance the project site's natural resources wherever feasible, including the preservation and enrichment of wetland

resources; preservation and replanting of oak trees and woodlands and native grassland and understory species.

- Avoid direct impacts to wetlands ("fill") beyond those authorized (and implemented) for the previously approved VTM through permits issued by the U.S. Army Corps of Engineers and the California Regional Water Quality Control Board, Central Coast Region.
- Avoid direct impacts to riparian habitat by establishing appropriate building setbacks from the edge of riparian canopy in development areas near riparian areas as determined by a qualified biologist. Setbacks will be waived to allow for stream crossings to support necessary roadways and trails. All such crossings will be clear span bridges, arch culverts or equivalent and will avoid fill within the flowline of the stream channel. Repair and/or replacement of instream facilities (e.g. culverts, weirs), and ongoing maintenance of drainage capacity in channels will also be allowed in riparian areas.
- Provide contiguous open space corridors to provide for wildlife movement and reduce impacts of fragmentation by preserving and enhancing existing corridors.
- Reduce the impact of edge effects on interior spaces through the development of transitional or buffer areas between open space resources and development.

### 7.3.3. Grazing and Agricultural Resource Management Policies

The San Benito River Valley supports some of the most productive farmland in the State. Agriculture makes a substantial contribution to the County economy and accounts for a majority of the privately-owned land in the County.

Agricultural use on the project site has consisted of row crop and orchard production, dry land farming, irrigated pasture and grazing. However, portions of the site proposed for development have not historically been farmed with row crops or used for other intensive agricultural production.

## 7 | RESOURCE MANAGEMENT

Agricultural water use on the site consists of an irrigation system that draws from on-site wells, CVP water, and lessee water sources.

The Permanent Wildlife Habitat area is currently leased for cattle grazing. There are about 80 head of cattle, or one per 15 acres. Noxious weeds are controlled by hand and the herd is rotated among the various pastures to encourage the growth of native perennial grasses. This practice will continue with implementation of the Specific Plan

Within the project site, up to 41.4 acres will be maintained as an Agricultural Preserve. The project also includes an additional 153.5 acres of Agricultural Preserve off-site, located off San Justo Road, north of the City of San Juan Bautista. All of these areas will be preserved through an easement for agricultural uses in perpetuity.



The following agricultural resource management policies will apply to all Permanent Wildlife Habitat Areas and Agricultural Preserve designated areas:

- To reduce potential conflicts between the existing on- and off-site agricultural operations and new non-agricultural uses, the Applicant, in accordance with the County Right to Farm Ordinance (No. 577), shall provide notice of the potential nuisances associated with on-site agricultural uses.
- Manage ongoing agriculture within the Site in a manner that is compatible with the protection and maintenance of wildlife connectivity and habitat supporting listed and other sensitive species.
- Provide for continuing on-site grazing and agricultural activities that contributes to the protection of the rural character and agricultural economy of San Benito County.
- Manage grazing (location, intensity, timing, etc.) to encourage restoration and sustainability of natural habitats (e.g., native grasslands, riparian understory), control erosion and limit the spread of non-native, invasive plants.

### 7.3.4. Biological Resource Management Policies

As part of this Specific Plan, the Applicant shall prepare Resource Management Plan (RMP) to manage all biological resources within the project site, in coordination with the GHAD. The RMP will satisfy all regulatory requirements for habitat and open space management including wetlands and sensitive species. The RMP will address long-term management of the various habitat types on the property, non-native species/predator control, habitat restoration work, monitoring, reporting and other habitat-related activities.

The RMP will describe the mitigation and minimization measures that will be implemented for the project to protect and maintain habitat for special status species known to occur on the property including the California tiger salamander and the California red legged frog. It will also describe the habitat management program to be conducted within the approximately 1,243.1 acres of natural open space preserve.

Short-term minimization and mitigation measures, including preconstruction surveys, construction monitoring, wetland creation, pond

enhancement, fencing and mitigation monitoring will be implemented and funded directly by the Applicant. Long-term management and monitoring of the Permanent Wildlife Habitat Area and other areas will be implemented by Wildlife Heritage Foundation or similar group and funded through the GHAD or a private endowment.

The following elements will be included in the RMP:

- A description of the site and environmental setting;
- A description of existing plant communities/wildlife habitat;
- A discussion of listed species and other special-status species known or with the potential to occur in the project area and their characteristics/life history;
- A description of the mitigation and minimization measures that have been incorporated into the project and that are to be implemented prior to, during, and following project construction;
- Restrictions and allowable uses in the Permanent Wildlife Habitat Area and other areas;
- The long-term management actions to be conducted to protect listed species and native habitats; and
- Budget, roles and responsibilities for funding and implementation of the RMP.

In addition, the following biological resource management policies will apply as part of this Specific Plan.

### Oak Woodlands

Based on a *Tree Survey Report – Del Webb San Juan Oaks* for the Del Webb portion of the project site (Babby 2013), there are 42 Valley oaks (*Quercus lobata*). These trees have an average trunk diameter of 46 inches and a range between 17 to 68 inches. In addition, there is one eucalyptus named Nichol's willow-leaved peppermint (*Eucalyptus nicholii*); with a 46-inch trunk diameter which is not native to the area.

Each tree was assigned a rating of good, moderate or low suitability for preservation rating as a means to cumulatively measure their health,

structural integrity, anticipated life span, location, size and species. The Tree Survey Report rated 13 trees (30%) as good, 17 trees (40%) as moderate, and 13 trees (30%) as low.

- It is the intent of the Specific Plan to ensure that all plan area design, grading, construction and landscaping give priority to the preservation of healthy native oak trees where feasible. The location and preservation of the healthy native trees shall be a primary factor in site design.
- The preservation or removal of native oaks, as well as any regulated activities within the protective zones of native oaks, shall occur in compliance with the San Benito County Municipal Code Chapter 19.33 – Management and Conservation of Woodlands, the project EIR, and the general design guidelines identified in the *Tree Survey Report*.
- Prior to issuance of a grading permit for a particular phase of the project, the Applicant shall submit a tree removal and protection plan as part of the grading plans for that phase which includes the location, diameter-at-breast-height, and status (live, dead, diseased, etc.) of native trees to be protected or removed within the proposed project.



### Riparian and Wetland Protection

- Any work in jurisdictional wetlands will be subject to review by the Corps of Engineers and other responsible federal and state agencies, with approval, prior to any development activity on any portion of the plan area site. Preservation and restoration of wetland areas shall occur in compliance with the required permits and the project EIR.
- The project shall be designed so that riparian and wetland habitat is buffered from development (including grading) by appropriate setbacks measured from the edge of riparian vegetation or delineated wetland. Vegetation may be managed in this setback area for fire protection purposes.

### Sensitive Species

Management and protection of sensitive species, including the, California tiger salamander, and the California red-legged frog will be fully addressed in the Resource Management Plan.

#### 7.3.5. Cultural Resources Policies

The project area lies within the historic territory of the Native American Indian group known as the Costanoan (often called Ohlone). Previous records searches on the site have identified three prehistoric sites within a one-mile radius of the site.<sup>3</sup> Two of these three identified prehistoric sites are located on the existing golf course, while the third site is located south of the site. Because the project site is located in an area considered to be of high archaeological sensitivity due to its proximity of these on- and off-site drainage features.

- It is the intent of this Specific Plan to protect, preserve and show respect for Native American, Spanish, Mexican, Euro American

and other archaeological sites and resources which may contain unique, irreplaceable, or religious resources.

- All grading and construction activities shall occur in compliance with the San Benito County Municipal Code – Chapter 19.05 Archaeological Site Review, and the project EIR.
- Prior to the initiation of ground disturbing activities, all construction personnel shall be alerted to the potential for encountering buried or unanticipated cultural remains, including prehistoric and/or historical resources. Construction personnel shall be instructed that upon discovery of buried cultural materials, all work within 100 feet of the find shall be halted immediately, and San Benito County shall be notified. Once the find has been identified by a qualified archaeologist, San Benito County shall make the necessary plans for treatment of the find(s) and for the evaluation and mitigation of impacts if the find is found to be an historical resource per State CEQA Guidelines.
- If human remains are encountered during ground disturbing activities, all work within approximately 100 feet of the find shall be halted immediately, and San Benito County Coroner will be notified. If the remains are determined to be Native American, the Native American Heritage Commission shall be notified within 24 hours as required by Public Resources Code Section 5097.94 and Section 5097.98. The Native American Heritage Commission will notify the designated Most Likely Descendant(s), who will in turn provide recommendations for the treatment of the remains within 48 hours of being granted access to the find.

---

<sup>3</sup> Rincon Consultants, *San Juan Oaks Golf Club General Plan Amendment Zone Change / Vesting Tentative Subdivision Map Project Draft Environmental Impact Report*. August 2003.

### 7.3.6. Water Quality Policies

As part of this Specific Plan, a *Stormwater Control Plan* has been prepared by Balanced Hydrologics (October 2013). Additionally, grading and erosion control plans will be submitted to San Benito County as part of project approvals. A summary of existing conditions and proposed stormwater management improvements are described in Chapter 5.

#### Water Quality Management Policies

- It is the intent of this Specific Plan to comply with the standards and requirements of the San Benito County grading, erosion control and improvement standards, including Municipal Code Chapter 23.31 – Improvements Design, Article III Storm Drainage Design Standards, as well as requirements of the State’s Water Quality Control Board Construction General Permit (Order 2009-009-DWQ), and the project EIR.
- The proposed development will not only meet the 100-year peak flow design storm standard, but is also committed to matching developed condition peak flow rates to existing condition peak flow rates for the 2- and 10-year design storm events. This conservative standard is intended to address the limited conveyance capacity in the receiving waters immediately downstream from the project site and to further mitigate for potential project impacts related to increased peak flow rates. The Applicant shall implement on-site physical improvements (e.g., detention basins, etc.) to ensure that existing peak discharge to downstream drainages is not increased as a result of development.
- Prior to approval of Land Use Permits for site grading, the Applicant shall obtain an NPDES stormwater permit from the California Regional Water Quality Control Board. A Storm Water Pollution Prevention Plan (SWPPP) for the entire site shall be developed prior to the initiation of grading and implemented for all construction activity on the project site.

The SWPPP shall include specific BMPs to control the discharge of material from the site and into the river and local storm

drains. BMP methods may include, but would not be limited to, the use of temporary retention basins, straw bales, sand bagging, mulching, erosion control blankets and soil stabilizers. Additional BMPs shall be implemented for on-site construction activities including fuel storage and handling, concrete waste management, material delivery and storage. A list of BMPs shall be attached to project plans and posted at the construction site.

- The Applicant shall integrate technologies and techniques to remove pollutants from site runoff prior to entering the drainage courses. Such techniques may include (but would not be limited to): reduced slope grading, drainage through vegetative zones (e.g., bio-swales that use natural processes, vegetation, and associated beneficial bacteria and microorganisms to break down pollutants) and other options to intercept pollutants being conveyed toward drainage paths. Technological solutions such as gravelly filter blankets or particulate filters (e.g., fossil filters) may also be installed as pollutant-removal solutions.
- Site-design features that will limit the amount of directly connected impervious area and promote infiltration include the following:

*Reduced street widths.* The project proposes to use the minimum street lane widths compatible with safety of the residents and in conformance with the requirements of San Benito County. Additionally, parking lots shall incorporate plans to reduce the total amount of surface area covered by impervious surfaces. This shall include the use of landscaping and open space preservation where practical.

*Residential lot design.* All residential lots will be graded to drain towards the street so that runoff from individual homes is routed through treatment controls. Additional lot design measures will include holding driveway widths to the minimum necessary for achieving vehicle access and parking goals.

*Trash collection areas.* All dumpsters serving non-residential areas will be covered to prevent rainfall from mobilizing pollutants.

*Dedicated open-space.* Approximately 81 percent of the project site will remain as permanent wildlife habitat, with the golf course and open space common areas providing additional open space and recreational land uses.

- The grading plans for the project, including improvements and lots, shall be specifically designed to prevent runoff from flowing across steep slopes and from entering into existing erosion gullies. Grading and drainage plans shall be submitted to the County as part of the development application for a grading permit and specific recommendations set forth in application shall be incorporated into the permit.
- Temporary berms and sediment basins shall be constructed to avoid unnecessary siltation into local streams during construction activities.
- As part of the GHAD, the Applicant shall identify a mechanism to maintain and clean all stormwater detention facilities to ensure ongoing provision of adequate capacity.
- During construction, an engineering geologist or a geotechnical engineer shall observe construction activities to review the potential for subsurface water. If necessary, subdrains shall be installed within foundations or roadways, to alleviate ponding of water. Surface water shall not be concentrated onto surface materials on the project site.
- The Applicant shall coordinate with the San Benito Water District to develop a salt reduction plan that integrates into any proposed project design available technologies and techniques to reduce salt discharges to the groundwater basin. Such techniques may include one or more of the following, or other strategies deemed acceptable by the San Benito County Water District; limitations on the installation of water softeners; installation of ion exchange, non-filtration, and/or reverse osmosis treat processes; brine disposal methods and processes;

blending of groundwater and surface water; additional desalting treatment of reclaimed effluent.

- Prior to recordation of the final map(s) as applicable, the Applicant shall submit to the County Planning Department, written confirmation from the County Health Department that all water quantity and quality standards for a water system can be met.
- All landscaping plans submitted to the County shall employ current water conservation measures through use of drought tolerant landscaping in accordance with the County Code Chapter 17D – Water Conservation.
- Native or equivalent adaptive vegetation shall be used for landscaping to reduce the amount of pesticide and fertilizer that might otherwise be required to maintain the landscaping, and use approved erosion control measures and landscaping to reduce sediment load in the runoff.

### 7.3.7. Groundwater Management Policies

San Benito County Water District (SBCWD) is a special act district authorized to provide for the protection of water resources, among other things, for the 47,000 acres of San Benito County. The SBCWD manages the groundwater basin by augmenting recharge from local surface water, monitoring groundwater levels and quality, and other activities. Groundwater recharge in the immediate vicinity of the property occurs primarily from rainfall and stream runoff.

#### Groundwater Management Policies

- Establish comprehensive and sustainable water supply/demand measures to manage water consumption, including the use of reclaimed water for landscaping, agriculture, and other practices in a manner that contributes to sustainable use of available groundwater supplies.
- Work in close coordination with the SBCWD to protect groundwater quality from degradation from any and all sources including: saline water intrusion, wastewater discharges, urban and agricultural runoff, or chemical contamination.

- Provide educational information to residents promoting water conservation, especially in times of drought and reduced water supplies.

**7.3.8. Geotechnical Policies**

Similar to much of California, the project site located within a seismically active region. The geology of the local area is dominated by the active San Andreas Fault, which traverses the portion of the project site proposed for preservation as permanent habitat/ open space. The Calaveras Fault, which is considered active, trends through the Hollister Valley and passes directly through the City of Hollister, approximately four miles east of the site. Other faults in the project vicinity include the Sargent, Tres Pinos, and Quien Sabe Faults. These faults are considered to be less active than the San Andreas or Calaveras Faults, but may also produce damaging earthquakes

**Geotechnical Management Policies**

- The recommendations described in the *Geotechnical Exploration for San Juan Oaks* (ENGEO 2013) or as amended, as well as any subsequent geotechnical recommendations as required by San Benito County and the EIR will be followed for the proposed project.
- Appropriate techniques to minimize liquefaction potential, where the potential is high, shall be prescribed by an engineering geologist or geotechnical engineers as a part of the required design-level geotechnical report and implemented by the Applicant. Suitable measures to reduce liquefaction impacts could include specialized design of foundations by a structure engineer, removal or treatment of liquefiable soils to reduce the potential for liquefaction, drainage to lower the groundwater table to below the level of liquefiable soils, in situ densification of soils or other alternations to the ground characteristics.

**7.3.9. Air Quality and Dust Control Policies**

The project site is located within the North Central Coast Air Basin (NCCAB). The NCCAB is comprised of Monterey, Santa Cruz, and San Benito Counties. The basin lies along the central coast of California and covers an area of 5,159 square miles.

The primary pollutants of concern in the project area are ozone and particulate matter (PM<sub>10</sub>). The County is in nonattainment regarding the state standard for these pollutants. The major sources for PM<sub>10</sub> are fugitive road dust, windblown dust, farming operations, waste burning, construction, mobile sources, and industrial processes. PM<sub>10</sub> levels in the area are primarily due to farming operations, grading, and motor vehicle emissions.



**Air Quality and Dust Control Management Policies**

- Construction Best Management Practices (BMP) shall be employed to reduce dust emissions during the construction phase of the project. These BMP include: (1) water – all active construction sites at least twice daily, preferably using reclaimed water. Frequency shall be based upon the type of recommendations of the project engineer; (2) prohibit all grading activities during periods of sustained high wind; plant vegetative groundcover in disturbed areas as soon as possible; (4) frequently water all unpaved roads on construction sites so all such roads do not emit dust when traveled upon; (5) sweep streets if visible soil materials are carried onto adjacent public roads.
- Best available control technology for construction equipment (BACT) shall be applied to the piece of construction equipment estimated to cause the highest level of combustion emissions during construction, based on Monterey Bay Unified Air Pollution Control District (MBUAPCD) standards/guidelines. BACT measure shall include tow-degree timing retard, high-pressure fuel injectors and reformulated diesel fuel, if available. These measures shall be noted on all construction plans and the local jurisdiction shall perform periodic site inspections.
- To minimize dust and reduce PM<sub>10</sub> emissions, the Applicant will implement the following construction guidelines:
  - Water all active construction areas at least twice daily;
  - Prohibit all grading activities during periods of sustained high wind (over 15 mph)
  - Apply chemical soil stabilizers on inactive construction areas;
  - Apply non-toxic binders to exposed areas after cut and fill operations and hydroseed area;
  - Haul trucks shall maintain at least two feet of freeboard;
  - Cover all trucks hauling dirt, sand, or loose materials;
  - Limit truck idling to no more than five minutes.

- Plant vegetative ground cover in disturbed areas as soon as possible;
- Cover inactive storage piles;
- Install wheel washers at the entrance to construction sites for all existing trucks;
- Frequently water all unpaved roads within construction sites;
- Sweep streets if visible soil material is carried out from the construction site;
- Post a publicly visible sign which specifies the telephone number and person to contact regarding dust complaints; and/or
- Limit the area under construction at any one time.

- If importation, exportation, or stockpiling of fill material is involved, soils stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation.
- The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site.

# 8

## **ADMINISTRATION, IMPLEMENTATION, AND FINANCING**

This chapter discusses the development review procedures by the County of San Benito and other relevant permitting agencies applicable to the Specific Plan. A process for amendments to the Specific Plan is discussed as well as analysis of the fiscal impacts of the project on San Benito County and other public services.



## 8.1. Administration and Entitlements

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457) grants authority to local jurisdictions to adopt specific plans for purposes of implementing the goals and policies of their general plan. As with general plans, the respective planning commission must hold a public hearing before they can recommend the adoption of a Specific Plan.

The County of San Benito's Community Development Director shall be responsible for administering the provisions of the SJO Specific Plan in accordance with the provisions of the Specific Plan, the State of California Government Code, the Subdivision Map Act, and the County of San Benito General Plan and Code of Ordinances. The Planning Commission may review any administrative interpretation, subject to appeal to the Board of Supervisors.

This Specific Plan establishes a set of regulations, standards, guidelines, and processes for the proposed development, and shall constitute the zoning for development within the Specific Plan area. To the extent any standard or other provision in this Specific Plan conflicts with the San Benito County Code, including the Zoning Ordinance, the standard or other provision set forth herein shall control. Concurrent with the adoption of this Specific Plan, certain provisions of the County Code will be amended to include language recognizing the existence of this Specific Plan and providing exceptions from certain code requirements in areas addressed by this Specific Plan. Unless expressly modified herein, the provisions of the County Code shall remain in full force and effect and shall continue to apply to the Specific Plan area.

### 8.1.1. Initial County Entitlements

Initial entitlements required for development of the Specific Plan area include the following actions to be taken by the County Board of Supervisors:

SEIR Certification: Certification of the San Juan Oaks Specific Plan Subsequent Environmental Impact Report (SEIR), including findings that identify significant environmental impacts of the

“project” and mitigation measures that must be implemented as part of the project, which will be reflected in the Mitigation Monitoring and Reporting Program (MMRP) and imposed as conditions of approval on subsequent discretionary approvals. This action will be adopted by resolution.

General Plan Amendments: Amendment of the San Benito County 1985 General Plan to: (1) change the General Plan Map to show the Specific Plan area as “San Juan Oaks-Specific Plan (SJO-SP); and (2) make other specific conforming amendments to the General Plan to ensure consistency between the General Plan and this Specific Plan (collectively, General Plan Amendments). These actions will be adopted by resolution.

Specific Plan Approval: Approval of the San Juan Oaks Specific Plan. This action will be adopted by resolution.

County Code and Zoning Map Amendments: Amendment of the County Code to: (1) change the text to reflect the new zoning designation of “San Juan Oaks-Specific Plan (SJO-SP); (2) change the County’s Zoning Map to show the Specific Plan area as zoned (SJO-SP); and (3) other specific conforming amendments to the County Code, including without limitation, the Zoning Ordinance (Title 25), Subdivision Ordinance (Title 23), and Land Use and Environmental Regulations Ordinance (Title 19) to ensure consistency between the County Code and this Specific Plan. These actions will be adopted by ordinance.

Rezoning of the Specific Plan Area: Approval of this Specific Plan as the applicable zoning for the Specific Plan area. This action will be adopted by ordinance.

Development Agreement: Approval of the Development Agreement between the County and the Applicant. This action will be adopted by ordinance.

LAFCO Approval: Approval may be required from LAFCO as it relates to the extension of wastewater services, depending on final design plans.

Development of the Specific Plan area shall be governed by the County Code and General Plan in effect at the time the project application was

deemed complete in March 2014. Development of the project shall be in substantial conformance with this Specific Plan and specific requirements that may be included in the Development Agreement (DA).

### 8.1.2. Subsequent County Entitlements and Substantial Compliance

Following the County Board of Supervisors actions on the initial entitlements, subsequent entitlement steps must occur to implement the Specific Plan, including without limitation, Tentative and Final Subdivision Maps, Conditional Use Permits, Design Review, Building Permits, Grading Permits, and approval of Subdivision Improvement Agreements. The map review and approval process and the design review are described in the following sections.

The County shall not issue any entitlement, permit, or approval in connection with a development project within the Specific Plan area unless said entitlement, permit, or approval is in substantial conformance with all applicable aspects of this Specific Plan.

### 8.1.3. Subdivision Map Approvals

Development of the Specific Plan area will require subdivision of the Specific Plan area to be developed in multiple stages, as governed by the Subdivision Map Act (Gov't Code §§ 66410 et seq.) and the County's Subdivision Ordinance.

An individual applicant proposing to develop any portion of the Specific Plan area shall comply with the Subdivision Map Act, the County's Subdivision Ordinance, and all applicable aspects of this Specific Plan.

### 8.1.4. Large Lot Tentative Map

The Large Lot Tentative Map is a basic tool for implementation of a Specific Plan. The large lot Tentative Map will create the individual development neighborhoods and other large lots. A Large Lot Tentative Map can be processed concurrently with the Specific Plan. The large lots created by the Large Lot Tentative Map can be processed concurrently with the Specific Plan. The large lots are for financing purposes,

therefore the requirement for dedications and improvements will not be a condition of the Large Lot Tentative Map. Those large lots will be further subdivided into smaller lots, upon which the proposed uses will be developed. This further subdivision will occur through the Small Lot Subdivision Map Process (see [Section 8.15: Small Lot and Tentative Subdivision Maps](#)). At the Applicant's discretion, the Large Lot Tentative Map may be combined with the first Small Lot Tentative Map.

As part of the application for the first Small Lot Final Subdivision Map (with "buildable" lots), the Applicant's shall prepare an Infrastructure Master Plan to the satisfaction of the County, which shall govern subsequent development of the Specific Plan area. Separate parcel maps (which will not propose any improvements) may be filed to facilitate financing. The following technical studies and plans have/will be prepared:

- GHAD Plan of Control
- Water supply assessment/verification
- Master grading plan
- Potable water improvement plans
- Wastewater improvement plan
- Recycled water improvement plans
- Storm drainage plan
- Parks and recreation improvement plan
- Landscape improvement plans

### 8.1.5. Small Lot and Tentative Subdivision Maps

In connection with a Tentative Map application, the Applicant shall provide to the County all information required under the Subdivision Map Act and the County's Subdivision Ordinance.

A Tentative Map shall be in substantial compliance with all applicable aspects of this Specific Plan. This shall include substantial compliance with [Figure 2-1: Conceptual Land Use Plan](#) and [Table 2-1: Land Use Summary](#) which identify the proposed location and acreage or land uses and anticipated density of each land use district within the Specific Plan area. Adjustments to these may include the following:

- The boundaries of each land use district may be modified administratively with approval by the Planning Director as a result of acreage transfers to accommodate adjustments that may occur as a result of more detailed plans being developed during the subdivision map review and approval process. A proposed adjustment to the boundary of a land use district may be processed concurrently with a Tentative Map application for land within that district.
- The anticipated acreage and location of the non-residential uses to be constructed, including Neighborhood Commercial, Amenity Center, Resort Hotel, Parks, Open Space Common Area, Golf Course & Clubhouse, Agricultural Preserve, Permanent Wildlife Habitat Area, and streets, may be modified administratively with approval by the Planning Director to accommodate adjustments that may occur as a result of more detailed plans being developed during the subdivision map review and approval process. A proposed adjustment to the acreage or location of a non-residential use may be processed concurrently with a Tentative Map application for land within that area.

An application for a Small Lot Tentative Map shall be processed in accordance with the Subdivision Map Act and the County's Subdivision Ordinance. The Planning Commission shall approve the application for a Small Lot Tentative Map for development of any portion of the Specific Plan area unless the Planning Commission makes written findings, supported by substantial evidence, regarding any one of the following:

- Any of the findings requiring denial under the Subdivision Map Act (Government Code Sections 66474, 66474.4 and 66474.6);

- The Applicant failed to demonstrate that the infrastructure, services, facilities and amenities required to serve the land uses within the requested map will be completed prior to occupancy of those uses;
- The applicant failed to demonstrate that the requested map complies with the applicable zoning of the Specific Plan;
- The applicant failed to demonstrate that approval of the requested map will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts; or
- The applicant failed to demonstrate that approval of the requested map will not result in conditions that would jeopardize the public health, safety and general welfare.

In approving a Small Lot Tentative Map, the Planning Commission may impose any conditions of approval in accordance with applicable state and local law, this Specific Plan, and the Development Agreement. A Small Lot Tentative Map can be processed concurrently with this Specific Plan. A Small Lot Tentative Map application may be processed and considered concurrently with a Conditional Use Permit or Design Review application (see [Section 8.1.6: Design Review](#)) for land that is the subject of the requested map.

#### 8.1.6. Design Review

Prior to issuance of a building permit, all residential and commercial development within the Specific Plan area shall be reviewed by County staff for consistency with [Chapter 3: Design Guidelines](#). This design review may occur concurrently with the processing of other application(s) (e.g., Tentative Map). The Planning Director shall approve an application for design review for development of a permitted use (see [Table 2-7: Permitted Uses](#)), of any portion of the Specific Plan area unless the Planning Director makes written findings, based on substantial evidence, regarding any one of the following:

- The applicant failed to demonstrate that the proposed development is in substantial compliance with all applicable

aspects of the Specific Plan and is consistent with the applicable design guidelines (see [Chapter 3: Design Guidelines](#)); or

- The applicant failed to demonstrate that approval of the requested application will not result in any new, significant unmitigated environmental impacts or a significant increase in previously identified impacts.

If County staff deems a proposed project to be not consistent with [Chapter 3: Design Guidelines](#), staff must make specific findings of inconsistency. Appeals shall be made to the Planning Commission.

### 8.1.7. Conditional Use Permits

In order to develop any uses listed as “C” (Conditional Use Permit) in [Table 2-7: Permitted Uses](#), the Applicant shall submit an application for a Conditional Use Permit in accordance with the requirements set forth in County Code Chapter 25.43, as may be modified or supplemented by this Specific Plan. The Planning Commission shall approve an application for a Conditional Use Permit for development of any conditionally permitted uses in the Specific Plan area unless the Planning Commission makes written findings, based on substantial evidence, regarding any one of the following:

- The applicant failed to demonstrate that the requested Conditional Use Permit complies with the applicable zoning of the Specific Plan;
- The applicant failed to demonstrate that the requested Conditional Use Permit is in substantial compliance with all applicable aspects of the Specific Plan, including without limitation, the applicable design guidelines (see [Chapter 3: Design Guidelines](#));
- The applicant failed to demonstrate that approval of the requested Conditional Use Permit will not result in new significant, unmitigated environmental impacts or a significant increase in previously identified impacts; or
- The applicant failed to demonstrate that approval of the requested Conditional Use Permit will not result in conditions

that would jeopardize the public health, safety and general welfare.

### 8.1.8. Large and Small Lot Final Maps

Following County approval of the Large and Small Lot Tentative Maps, applications for one or more final maps (for all or a portion of the Tentative Map area) shall be filed in accordance with the Subdivision Map Act and the County’s Subdivision Ordinance.

### 8.1.9. Minor Modifications

A subsequent entitlement (e.g., Tentative Map or Conditional Use Permit) may be found to be in substantial conformance with this Specific Plan even if said entitlement reflects certain changes to this Specific Plan provided that the Planning Director finds that said change constitutes a “minor modification.”

Any change shall be deemed a minor modification unless the proposed change would: (1) modify any zoning regulation or standard; (2) modify [Figure 2-1: Conceptual Land Use Plan](#) or [Table 2-1: Land Use Summary](#) in a manner that is inconsistent with [Section 2-3: Land Use Summary](#); (3) cause any other change that would result in a new significant adverse, unmitigated environmental impact or any significant increase in any previously-identified environmental impact pursuant to Public Resources Code section 21166; or (4) be inconsistent with the purpose and intent of this Specific Plan. Minor modifications include but are not limited to minor changes in roadway, bicycle, and/or trail alignments, changes to landscaping design and materials, and inconsequential changes to the design guidelines.

In the event and to the extent the Planning Director makes written findings, based on substantial evidence in the record, that the requested change constitutes a minor modification, the subsequent entitlement would not be deemed an amendment to this Specific Plan and may be approved administratively.

Furthermore, as described in the San Juan Oaks Development Agreement (DA), the Applicant (and subsequent owners) retain the right

to apportion uses, intensities and densities in each area identified in the Specific Plan between themselves and any subsequent owners, upon the sale, transfer or assignment of any portion of the property to accommodate adjustments that may occur as more detailed plans are developed, so long as such apportionment is in substantial compliance with the existing Land Use Regulations, approvals and the DA , and the following criteria:

- (1) The adjustment will not result in exceeding the maximum number of units to be permitted in the Specific Plan or commercial square footage;
- (2) The adjustment will not result in new significant, unmitigated environmental impacts; and
- (3) The adjustment will not significantly increase a previously identified impact.

Any such apportionments shall be considered a minor modification to the project which may be approved administratively and does not require amendment to the DA or this Specific Plan.

### 8.1.10. Specific Plan Amendment Process

A finding that a subsequent entitlement reflects a minor modification to this Specific Plan is distinct from a request to revise any aspect of the Specific Plan, which shall be construed as an amendment to this Specific Plan. A request for a Specific Plan amendment shall be processed in accordance with California Government Code requirements for specific plans, and shall require approval by the County Board of Supervisors.

## 8.2. Phasing and Financing

### 8.2.1. Specific Plan Phasing Plan

Development of the Specific Plan area contemplates five (5) development phases, with anticipated build-out occurring over a period of approximately 10 years, in response to market demands, and according

to an orderly extension of roadways, infrastructure, public services, and utilities.

Over the course of the five phases, parks sites, private recreational facilities, and other amenities will be provided commensurate with the residential and commercial development pursuant to terms in the Development Agreement. [Figure 2-4: Project Phasing Plan](#) and [Table 2-2: Phasing Plan](#) identify proposed development phasing within the Specific Plan area. It should be noted that [Figure 2-4: Project Phasing Plan](#) is illustrative only and is not mandatory both in terms of phases and exact number of units in each.

The development phases are contemplated to occur sequentially, although portions of phases may occur concurrently. Development of each phase shall include all infrastructure, services, facilities and amenities, both public and private, needed to serve the uses and structures within each respective phase. Development of each phase will result in a project that could “stand alone” with suitable roadway (including landscaping), utility, park, common open space, recreation, and other infrastructure if future phases were not constructed. It is anticipated that each of the phases may include sub-phases which may result in multiple Final Maps.

As part of the Small Lot Final Subdivision Map application, the Developer shall prepare the Master Phasing Plan, as it may be amended. All subsequent entitlements shall be in substantial conformance with the Master Phasing Plan. [Figure 2-4: Project Phasing Plan](#) is intended to be refined and may be revised by the Developer from time to time throughout development of the Specific Plan area. Revised phasing plans must demonstrate, to the satisfaction of the San Benito County Public Works Director, the provision of adequate infrastructure to completed support each phase (as a project that could “stand alone”) in accordance with this Specific Plan.

### Grading

All lots, roadways, and other improved areas requiring grading within a phase shall be graded sufficiently to accommodate development. A grading borrow/stockpile area shall be established in a future phasing

area to be developed, if necessary, to accommodate extra grading material for the future phase.

All grading will comply with SBC Code requirements (Chapter 19.17) and all temporary borrow/stockpile areas will be treated with the appropriate stormwater control measures and aesthetics will be considered to the extent possible.

### Roadways

All roadways shown within a particular phase shall be improved and/or constructed per the applicable cross section standards and design as identified in Chapter 4: *Circulation and Streetscape Design*, including paving (for sidewalks, paths, and travel lanes), landscaping, lane and crosswalk striping, traffic signals, signage (traffic, directional, and gateway), street furnishings, and all infrastructure within the right-of-way.

Where roadways terminate at phasing limits, appropriate barricades and signage as approved by the County of San Benito Public Works Director shall be installed to alert roadway users of the street termination. Additionally, all temporary turn arounds, if necessary, will be constructed per SBC Code requirements.

### Utilities

All utilities (including water, wastewater, storm drain, recycled water if used, telephone, cable, electricity, gas, etc.) shall be installed within the roadway right-of-way with connections to individual residential lots, parks, then amenity center, and neighborhood commercial prior to issuance of the appropriate permit. All utilities shall be fully operational for the entire phase prior to occupancy of that phase. Connections for future phases shall be constructed so that future phases can connect to previously installed utility infrastructure.

### 8.2.2. Financing Plan

The Specific Plan area shall be developed in a fiscally self-sufficient manner through the use of revenue sources including those described below. In approving a Tentative Map for any portion of the Specific Plan area, the Applicant or responsible agency (as applicable) shall

demonstrate the availability of adequate financing to ensure that all infrastructure, services, facilities, and amenities needed to serve the uses and structures covered by the requested map will be completed prior to occupancy of any structure on any lot described in such map and will remain operational as needed throughout the life of the project.

### Sources of Revenue

It is anticipated that a significant portion of initial improvements will be constructed with private funding. In addition, the following sources of revenue may be obtained as part of project construction and ongoing operation and maintenance of certain improvements:

**Taxes:** Property taxes (ad valorem), sales taxes.

**County Fees:** Development impact and processing fees, property transfer fees, utility fees, license and franchise fees collected through several potential financing districts, including a Business Improvement District (BID), County Service Area (CSA), or Community Facilities District (Mello Roos).

**Geologic Hazard Assessment District:** Collected through property owners for ongoing operation and maintenance.

**Homeowners Assessments:** Collected through individual homeowners associations (HOAs).

**Reimbursements:** Collected through agreements for reimbursement from other property owners directly benefiting from infrastructure or improvements constructed by the Developer.

### Construction of Backbone Improvements

All backbone improvements (i.e., roadways, utilities, parks, amenity center) shall be constructed with private financing or applicable development impact fees.

The Applicant and developer(s) may enter into an internal, private cost sharing agreement specifying terms of financing for construction of improvements, establishment of rights-of-way and any easements for

improvements, and establishment of the basis and terms for cost sharing and reimbursement among owners.

### **Construction of In-tract Improvements**

Portions of the Specific Plan area may be sold to other developers to develop specific aspects or portions of the Specific Plan area (e.g., the resort hotel, commercial uses, the assisted living/skilled nursing/memory care facility). All infrastructure, services, facilities, and amenities shall be the responsibility of the developer for that particular portion as determined through the Tentative Map process. It is anticipated that these would be constructed with private financing.

## **8.3. Fiscal Impact of the Specific Plan**

*The Fiscal and Economic Impacts Associated with the Proposed San Juan Oaks Development by Pulte Homes* (September 2013) was prepared by Gruen Gruen + Associates to analyze the fiscal impact from development of the Specific Plan on the San Benito County General Fund (the Gruen Report). A summary of major findings is provided below.

### **8.3.1. Short-term Fiscal Impacts**

Because the fiscal impact analysis addresses long-term rather than short-term fiscal effects of the proposed development on the General Fund, the Gruen Report excludes upfront capital costs and fee revenue associated with infrastructure or other capital items.

Revenues collected on a cost-recovery basis and other fees-for-service (e.g., permit and plan checking fees, inspection fees, impact and collection fees, etc.) are assumed to be set at rates that will adequately offset County and other agency costs. According to Pulte Home Corporation, these development-related fees are estimated to total \$29.1 million for San Benito County and \$10.9 million for the City of Hollister, for an estimated total of \$40 million dollars.

### **8.3.2. Long-term Fiscal Impacts**

To evaluate net long-term fiscal and economic impacts, estimates of the annual revenue likely to be generated by the proposed development for the County's General Fund and the General Fund expenditures likely to be induced by the proposed development were prepared. A comparison of the estimated annual revenues and annual operating costs was conducted to estimate the net fiscal impact on the County's General Fund associated with the proposed development.

The Gruen Report also presents an economic impact analysis of the proposed development. The analysis quantifies the number and type of jobs likely to result from development and operation of the project within the local economy. Labor income and industry output impacts were also quantified.

All cost and revenue projections in the Gruen Report are expressed in constant 2013 dollars. That is, the possible effects of inflation or deflation on General Fund revenues and costs in the future are not quantified. All historical references to General Fund revenues or expenditures have been adjusted to 2013 dollars based on the Consumer Price Index for urban consumers in the Western United States.

### **General Fund Revenues**

General Fund revenue resulting from [Table 8-1: Annual General Fund Revenue at Buildout](#) summarizes the estimated annual revenue induced upon Specific Plan buildout for the County's General Fund.

**Table 8-1: Annual General Fund Revenue at Buildout**

Source	Annual Revenue	Annual Revenue per Housing Unit
Property Tax	\$649,886	\$591.34
Property Tax In-Lieu of Motor Vehicle License Fee (MVLFF)	\$398,214	\$362.34
Sales Tax	\$84,500	\$76.89
Transient Occupancy Tax	\$759,200	\$690.81
Real Estate Transfer Tax	\$43,085	\$39.20
Franchise Fees	\$36,833	\$33.52
Proposition 172	\$66,424	\$60.44
<b>General Fund Total</b>	<b>\$2,038,144</b>	<b>\$1,854.54</b>

Source: Gruen Gruen + Associates, 2013.

Upon full buildout, proposed development is forecast to generate approximately \$2.0 million of annual revenue for the General Fund. This equates to approximately \$1,850 per housing unit.

Property tax, including property tax in-lieu of motor vehicle license fee (MVLFF) revenue, is expected to comprise approximately 51 percent of all General Fund revenue generated. Annual transient occupancy tax revenue of \$759,000 is forecast to comprise an additional 37 percent of General Fund revenue upon full buildout. The proposed resort hotel will only be developed if and when market conditions are sufficient to support it. Other General Fund revenues including sales tax, real estate transfer tax, franchise fees, and Proposition 172 public safety state aid are forecast to comprise approximately 10 percent of annual revenue or \$231,000.

**General Fund Costs**

Table 8-2: Estimate Annual General Fund Costs upon Buildout summarizes the estimated annual General Fund service costs induced upon buildout of the Specific Plan.

**Table 8-2: Estimate Annual General Fund Costs upon Buildout**

Source	Annual Cost	Annual Cost per Housing Unit
General Government	\$16,901	\$15.38
Public Protection (Sherriff Operations)	\$495,000	\$450.41
Public Protection (Other)	\$250,821	\$228.23
Other Services <sup>1</sup>	\$65,169	\$59.30
Fire Service Contract	\$117,197	\$106.64
<b>General Fund Total</b>	<b>\$945,088</b>	<b>\$859.95</b>

Note:  
Includes public ways and facilities, public assistance, education, and parks and recreation  
Source: Gruen Gruen + Associates, 2013.

Upon Specific Plan full buildout, the proposed development is forecast to generate approximately \$950,000 of additional annual costs for the County of San Benito General Fund. This equates to approximately \$860 per housing unit. The General Fund cost estimates are based upon Fiscal Year 2010-2011 service level standards to remove the temporary effects of furloughs, layoffs, and other cost-saving measures and to in essence provide a higher level of public services than currently provided to existing residents and businesses.

Sheriff Operations costs of \$495,000 or \$450 per unit are estimated to comprise approximately 50 percent of total annual General Fund costs induced at buildout. Other public protection costs are estimated at \$251,000 or \$228 per unit at buildout. Fire service costs are estimated at approximately \$117,000 or \$107 per unit at buildout. Additional General Fund costs associated with General Government service and other services such as education and parks and recreation are estimated to total almost \$82,000 or \$75 per housing unit at buildout.

**Net Annual General Fund Surplus at Buildout**

Table 8-3: Estimate Annual General Fund Surplus at Buildout summarizes the annual General Fund surplus estimated to result from Specific Plan buildout.

**Table 8-3: Estimate Annual General Fund Surplus at Buildout**

Source	Annual Total	Annual per Housing Unit
Revenues	\$2,038,144	\$1,854.54
Costs	(\$945,088)	(\$859.95)
<b>Net Surplus</b>	<b>\$1,093,055</b>	<b>\$994.59</b>

Source: Gruen Gruen + Associates, 2013.

The impact of the proposed development on the General Fund is estimated to be revenue-positive. At buildout, annual revenues are estimated to exceed annual service costs by approximately \$1,093,000 or \$995 per housing unit.

Table 8-4: Estimate Annual General Fund Impact Attributable to Residential Uses at Buildout presents the estimated General Fund impact of just proposed residential uses at buildout, excluding revenues and costs associated with proposed commercial and hotel uses. Due to the uncertainty of the timing of the development of the commercial and resort hotel components, this table depicts the economic benefits from just residential uses.

**Table 8-4: Estimate Annual General Fund Impact Attributable to Residential Uses at Buildout**

Source	Annual Total	Annual per Housing Unit
Revenues	\$1,045,462	\$952.28
Costs	(\$901,679)	(\$820.45)
<b>Net Surplus</b>	<b>\$143,783</b>	<b>\$131.83</b>

Source: Gruen Gruen + Associates, 2013.

Excluding revenues and costs associated with proposed commercial and hotel uses, annual General Fund revenues attributable to proposed residential uses are estimated to exceed annual service costs by approximately \$143,800 at buildout or about \$132 per housing unit.

### 8.3.3. Economic Impact of the Proposed Development

The development and occupancy of residential, commercial, and hotel space within the Specific Plan area will generate economic impacts on the local economy from three separate sources. Initial one-time impacts will result from construction activity and expenditures. Economic impacts associated with development and construction activity are temporary in nature. Once completed and occupied, operations of planned commercial and hotel space will generate an ongoing economic benefit on the local economy as tenants produce sales, pay wages to employees, and purchase goods and services from other businesses in the local economy. Households will also generate an ongoing economic benefit through purchases of local goods and services.

Table 8-5: Total Economic Impact of Development on the County Economy summarizes the estimated economic impact of the proposed development on the San Benito County economy.

**Table 8-5: Total Economic Impact of Development on the County Economy**

Source	Average Annual Jobs	Average Annual Income	Average Annual Output
One-Time Impact of Construction	634	\$26,543,000	\$79,535,000
Ongoing Impact of Retail and Hotel Operations	322	\$10,504,000	\$40,755,000
Ongoing Impact of Household Spending	225	\$7,945,000	\$21,398,000
<b>Ongoing Total Impact</b>	<b>547</b>	<b>\$18,449,000</b>	<b>\$62,153,000</b>

Source: Gruen Gruen + Associates, 2013.

One-time construction activity is forecast to support average annual employment of 634 jobs and annual income of approximately \$26.5 million within the County over a five year buildout period. Construction activity is forecast to support a total of 3,170 job years within the local economy (one job year equals one job for a period of one year). At

buildout, the ongoing operations of the retail and hotel space are forecast to generate a total employment impact of 322 jobs. Ongoing retail and hotel operations are forecast to generate annual income of \$10.5 million and annual output (revenue) of \$40.8 million within the County economy. The induced impact of household spending at buildout is estimated at 225 jobs and approximately \$7.9 million of annual income.

In addition to the 547 jobs forecast to be supported by ongoing retail and hotel operations and household spending, approximately 80 additional direct jobs will be supported by the operations of the Del Webb Activity Center, active adult community homeowner's association (AHOA) and San Juan Oaks Golf Club (golf course-related jobs already exist today). These sources of employment are not included in the above estimate of overall economic impact.

#### 8.3.4. Property Tax Impact on Local School Districts

Although not the focus of the fiscal and economic impacts report, development of the Specific Plan area can be expected to generate significant annual school district revenue upon buildout. The net benefit is likely to be large given that the type of housing proposed is likely to generate few, if any, school-aged children (94 percent of housing units planned will be age-restricted).

At buildout, it is estimated that proposed development will generate annual property tax revenue in excess of \$2,840,000 for the Aromas-San Juan Unified School District; approximately \$160,000 of annual revenue for San Benito County Schools; and more than \$400,000 of annual revenue for the Gavilan Junior College District.





Kimley»Horn

